

Rochester Housing Authority

Scattered Sites Porch Renovations -P14

24 Chandler St. Fire Restoration

BUILDING CODE DATA

APPLICABLE CODES

- 2020 NYS RESIDENTIAL CODE (IRC)
- 2020 NYS UNIFORM CODE SUPPLEMENT (UCS)

OCCUPANCY: ONE AND TWO FAMILY DWELLING PER 101.2.1 (UCS)

CONSTRUCTION CLASSIFICATION: TYPE VB

CLASSIFICATION OF WORK: COMPLY WITH APPENDIX J OF THE IRC PER 101.2.1.3 OF THE UCS 'ALTERATION' PER SECTION AJ201 DEFINITIONS; EXISTING BUILDINGS AND STRUCTURES, APPENDIX J (IRC); SECTION AJ102, COMPLIANCE; SECTION AJ401, RENOVATIONS (ALSO APPLIES); AJ401.1; MATERIALS PER IRC; SECTION AJ501, ALTERATIONS; AJ501.2; NON-CONFORMITIES, SHALL NOT INCREASE

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G-002	General Notes and Abbreviations

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Issued:	Date:
A	Issued for Client Review 08/28/20
B	Issued for Client Review 09/18/20
C	Issued for Client Review 02/10/21
D	Issued for Client Review 02/24/21
E	Issued for Client Review 03/06/21
Revisions:	Date:
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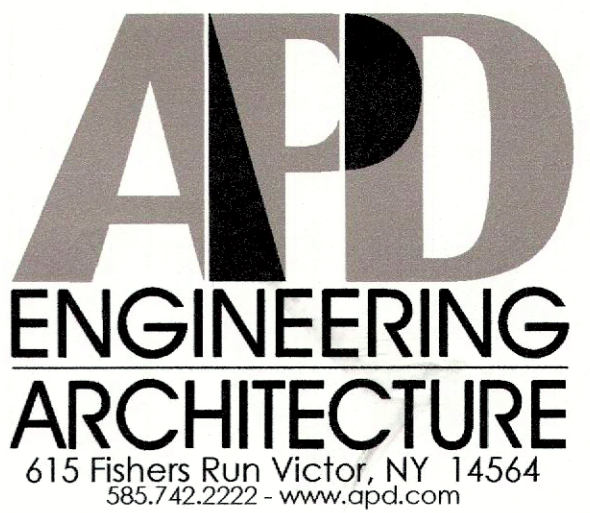
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PROJECT DESIGNER DATE

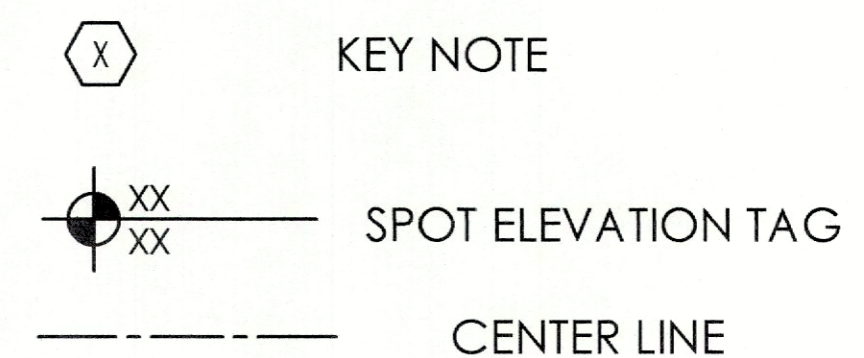
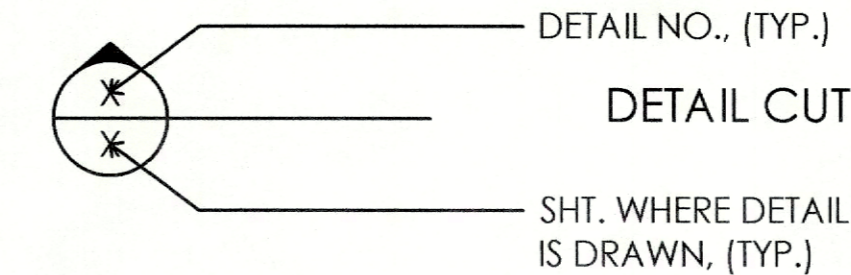
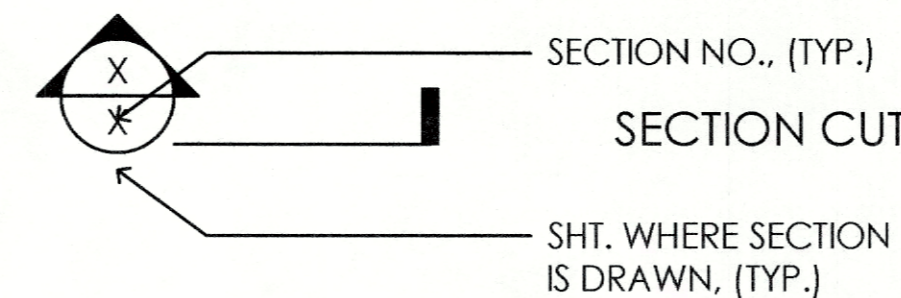
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GENERAL SYMBOLS



Rochester Housing Authority
675 West Main St.
Rochester, NY 14611
(585) 697-3600

Porch Replacements 2020

Package **P14**

Rochester, NY 14619
Monroe County

Project Name & Location:

Cover Sheet

Drawing Name:	Project No.
Date: 02/10/21	20-0402A
Type: Renov.	
Drawn By: WJD	G-001
Scale: As Noted	Drawing No.

RHA CONTACT:

Rochester Housing Authority
Julie Fox
Senior Property Rehabilitation Specialist
Development & Capital Projects
675 W. Main St.
Rochester, NY 14611
C: (585) 208-0074
F: (585) 568-6818
E: jfox@RochesterHousing.org

ARCHITECT :

APD Engineering & Architecture
Dan Sargent, Architect of Record
615 Fishers Run
Victor, NY 14564

Contact: William DeVos
O: (585) 484-1302
C: (585) 435-0364
E: wdevos@apd.com

NOTES

THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS; IN ANY AND ALL CONFLICTS BETWEEN THE DRAWINGS AND THE TECHNICAL SPECIFICATIONS, THE MOST STRINGENT REQUIREMENT WILL GOVERN AND THE G.C. SHALL COORDINATE WITH THE ROCHESTER HOUSING AUTHORITY'S REPRESENTATIVE.

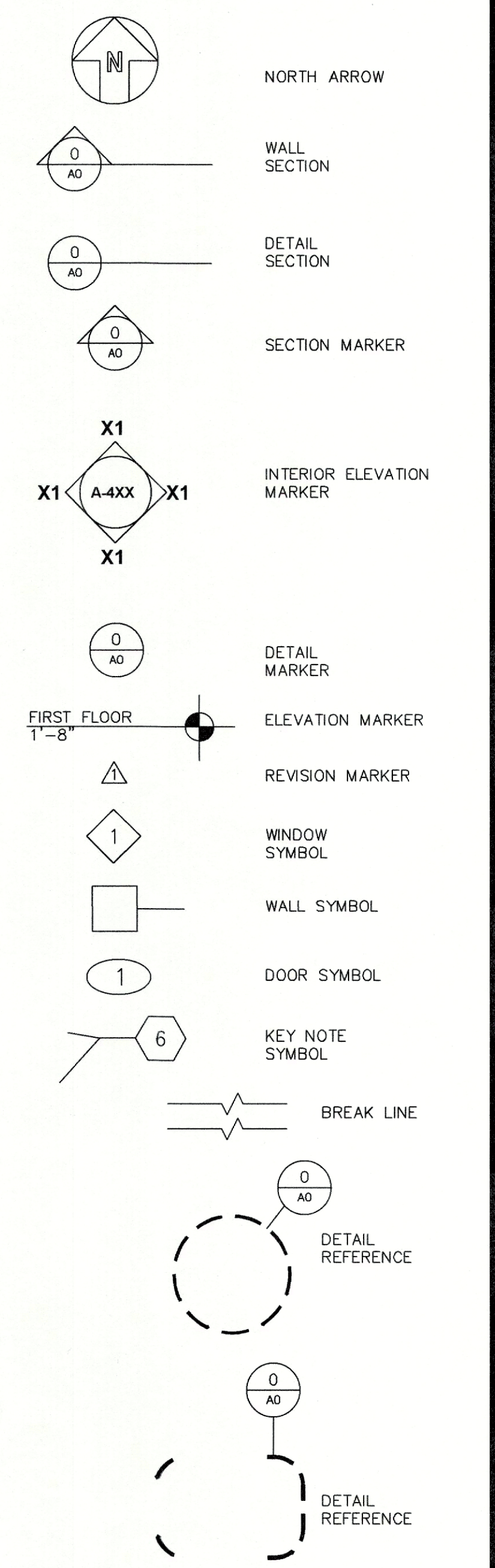
THESE DOCUMENTS ARE FOR THE SOLE PURPOSE OF INITIAL BUILDING PERMIT SUBMITTAL ONLY. ANY COMMENTS, REVISIONS OR CORRECTIONS BASED ON BUILDING DEPARTMENT REVIEW AND/OR BUILDING CODE INTERPRETATION ITEMS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND ARCHITECT WILL NOT BE HELD LIABLE FOR ANY CHANGE ORDERS RESULTING FROM THESE ITEMS.

Table of abbreviations and their corresponding full names, organized in columns. Includes terms like ADA AFF, ACCR, ACP, ACT, AHJ, etc.

Table of abbreviations and their corresponding full names, organized in columns. Includes terms like HNDRL, HAND RAIL, HGR, HANGER, HDW, HARDWARE, etc.

REQUIRED RESILIENT REVISED, REVISION RFC ROOF CONDUCTOR RFD ROOF DRAIN RFG ROOFING RM ROOM RGH ROUGH ROH ROUGH OPENING RND ROUND

SCALED MEASUREMENTS. DETAIL DRAWINGS AND LARGER SCALE DRAWINGS TAKES PRECEDENCE OVER SMALLER SCALE DRAWINGS. ALL PLAN DETAILS AND WALL SECTIONS ARE ASSUMED TO BE TYPICAL CONDITIONS UNLESS DETAILED OR NOTED OTHERWISE.



MATERIALS table listing various building materials and their corresponding symbols: BATT INSULATION, BLOCKING, CONT., BLOCKING DISCONT., BRICK (ELEVATION), BRICK (PLAN/SECTION), CARPET TILE, PVC, CMU, CONCRETE, EARTH, GLASS, ASPHALT, RIGID OR SPRAY FOAM INSULATION, WOOD, GRASS, ROOF SHINGLES.

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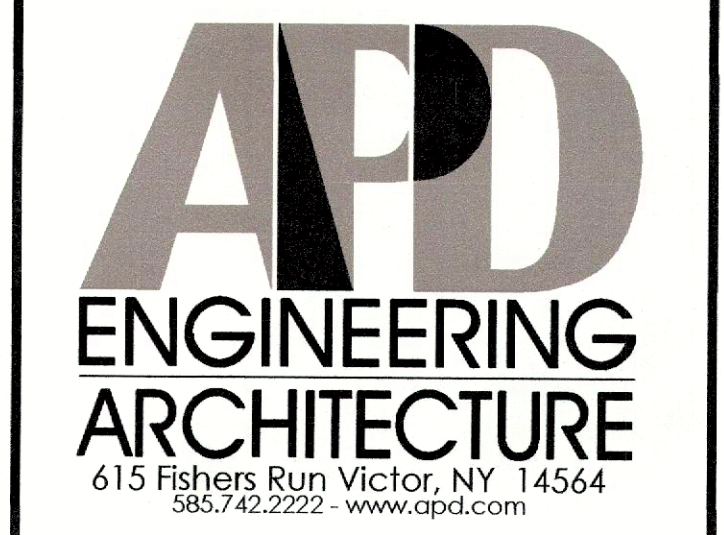
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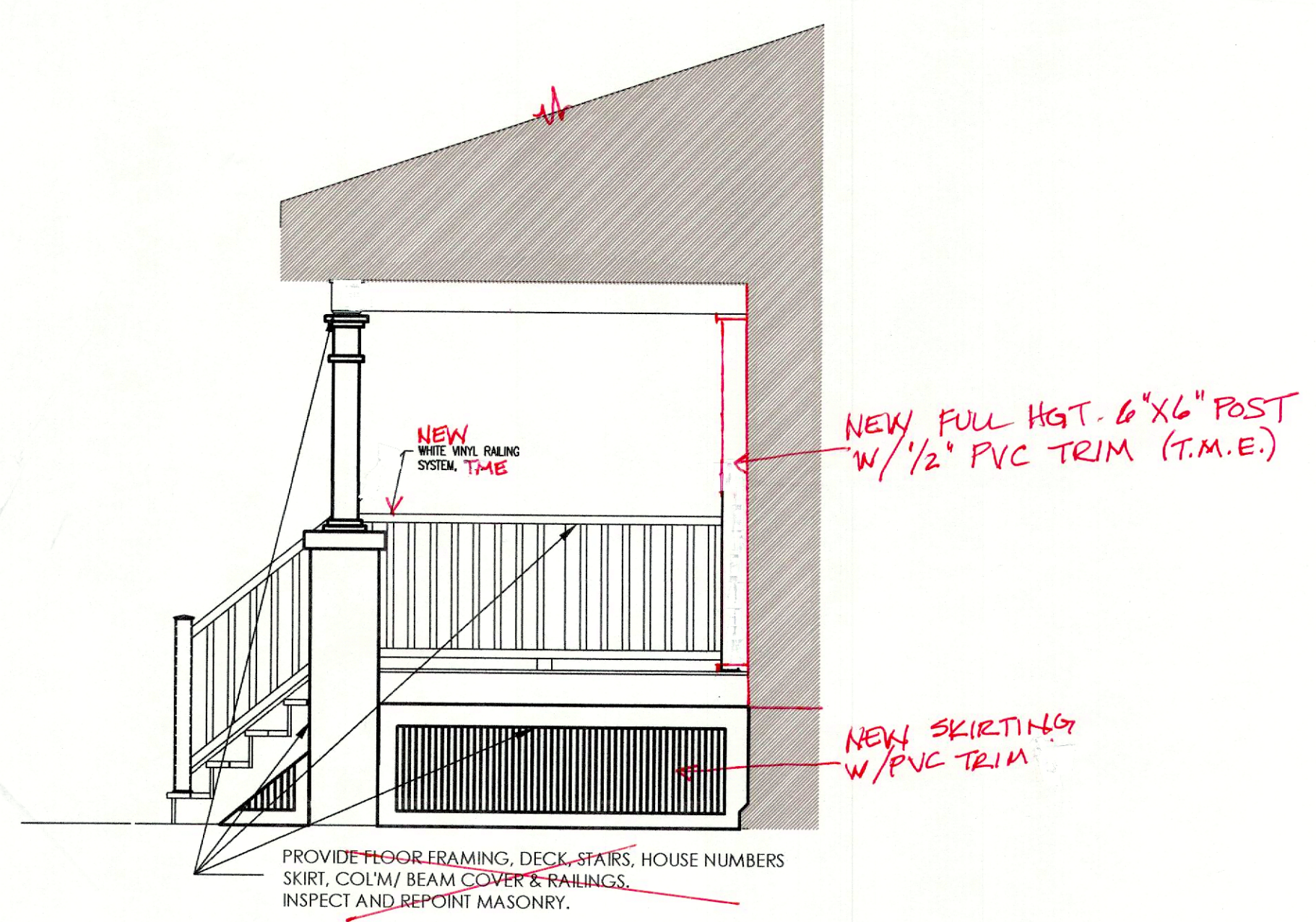
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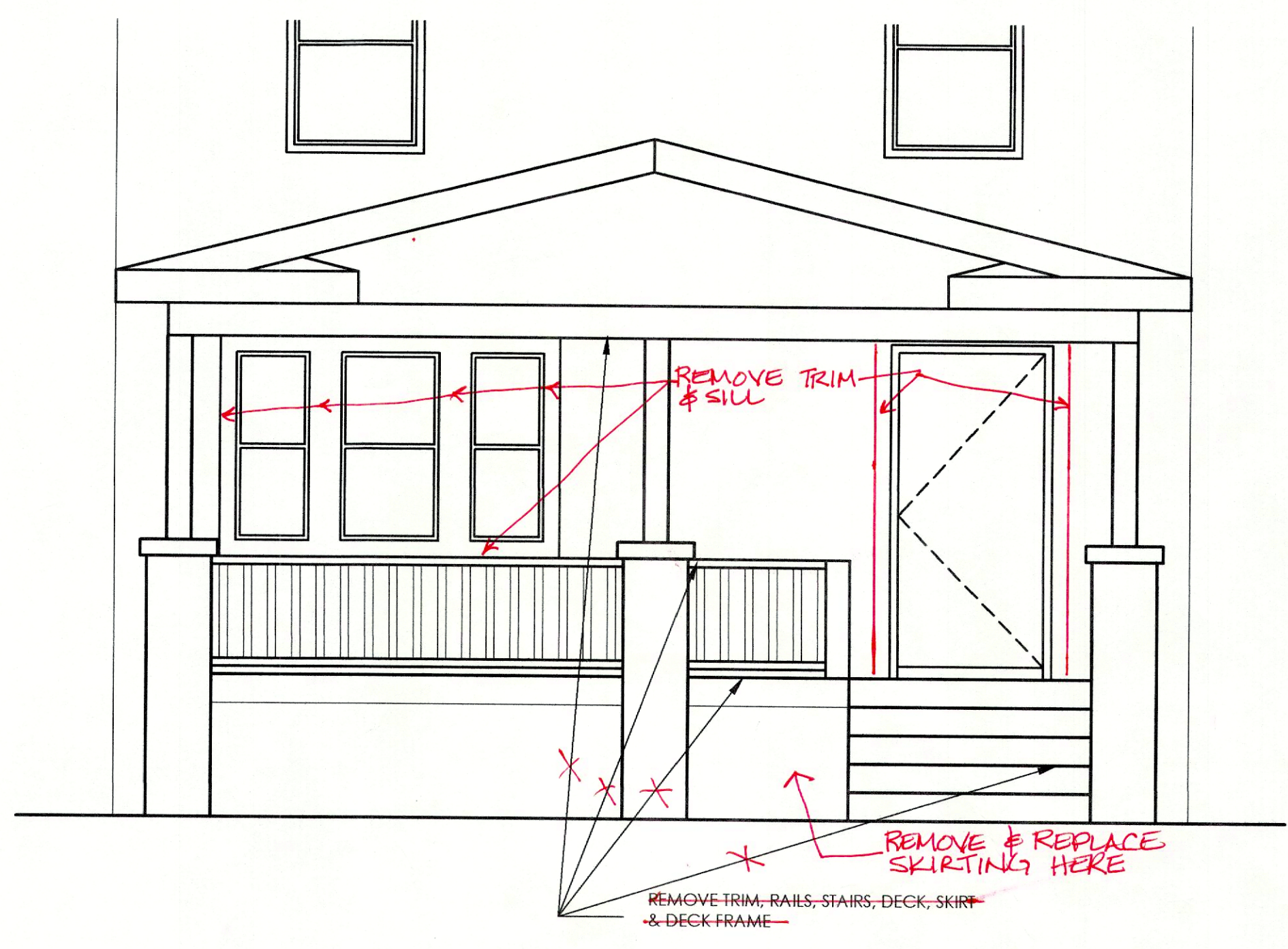
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Porch Replacements 2020
 24 Chandler St.
 Rochester, NY 14619
 Monroe County
 Project Name & Location:

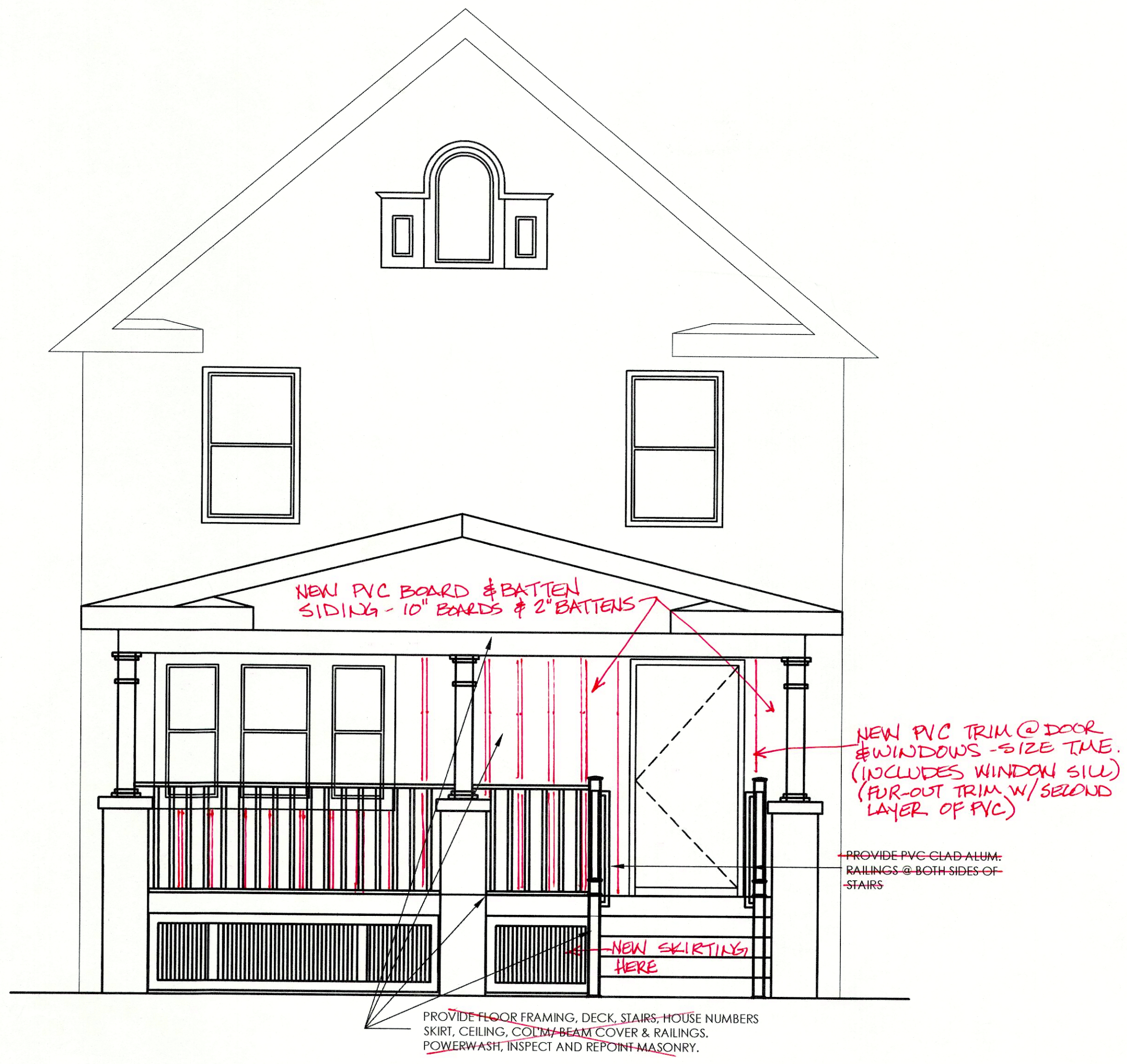
Exterior Elevations	
Drawing Name:	
Date: 02/10/21	Project No. 20-0402A
Type: Renov.	
Drawn By: WJD	A-201
Scale: As Noted	Drawing No.



3 Front Porch -Side
 SCALE: 3/8" = 1'-0"



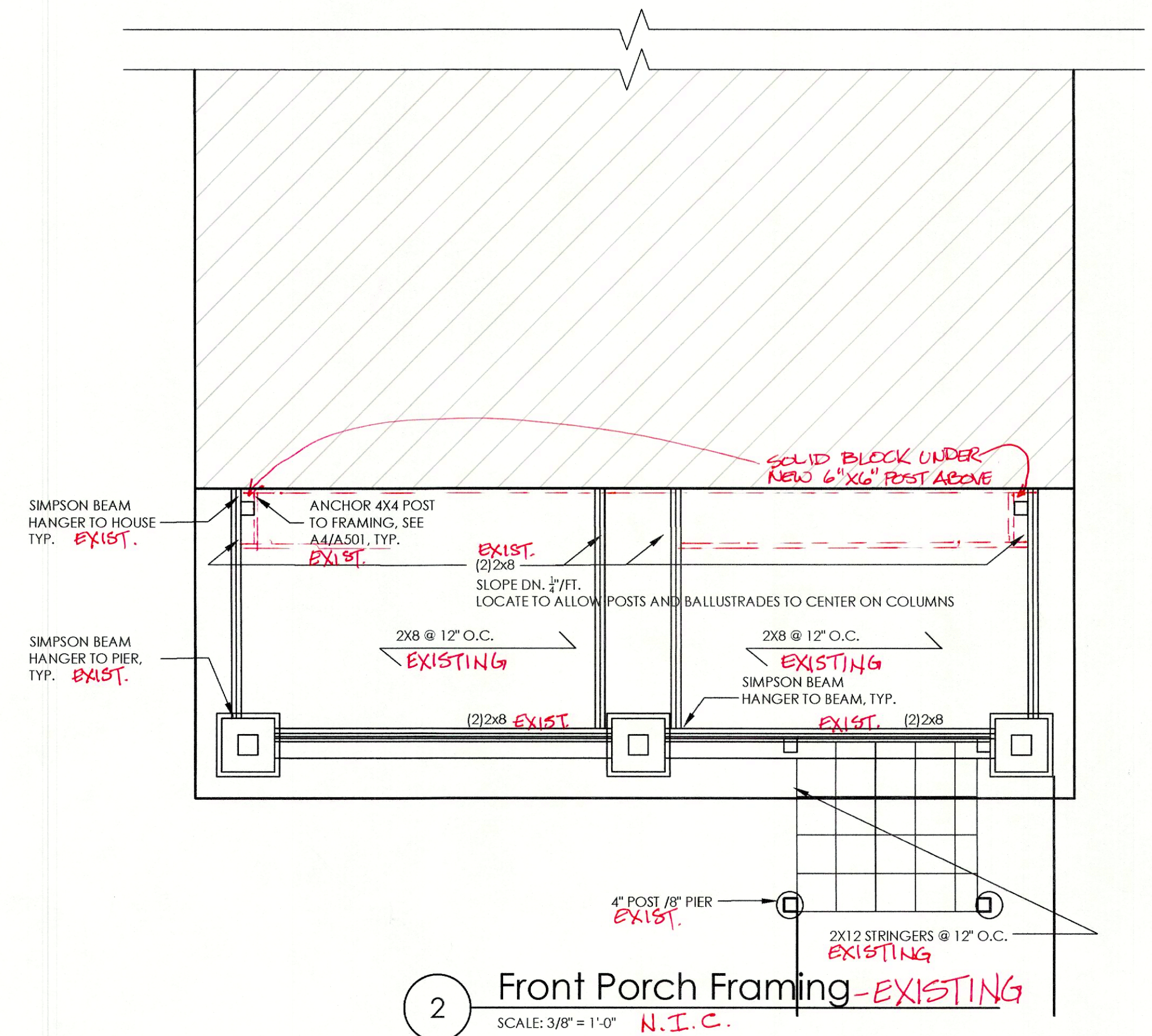
1 Front Porch -Demolition
 SCALE: 3/8" = 1'-0"



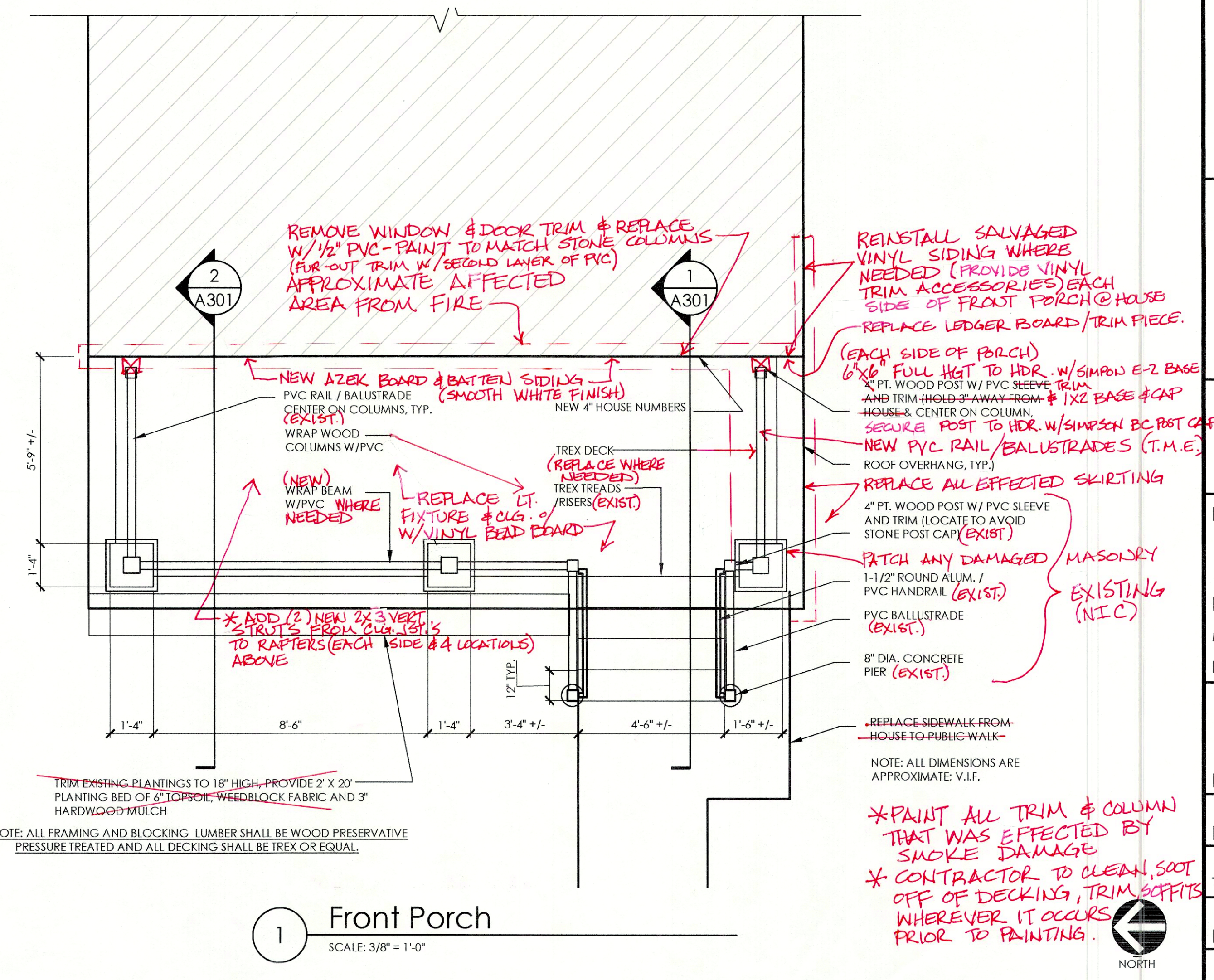
2 Front Porch -Proposed
 SCALE: 3/8" = 1'-0"

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2 Front Porch Framing - EXISTING
SCALE: 3/8" = 1'-0" N.I.C.



1 Front Porch
SCALE: 3/8" = 1'-0"

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615 Fishers Run Victor, NY 14564
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(585) 497-3600

Porch Replacements 2020
24 Chandler St.
Rochester, NY 14619
Monroe County
Project Name & Location:

Floor Plans - Proposed
Drawing Name:
Date: 02/10/21
Type: Renov.
Drawn By: WJD
Scale: As Noted
Project No.: 20-0402A
A-101
Drawing No.:

Issued:	Date:
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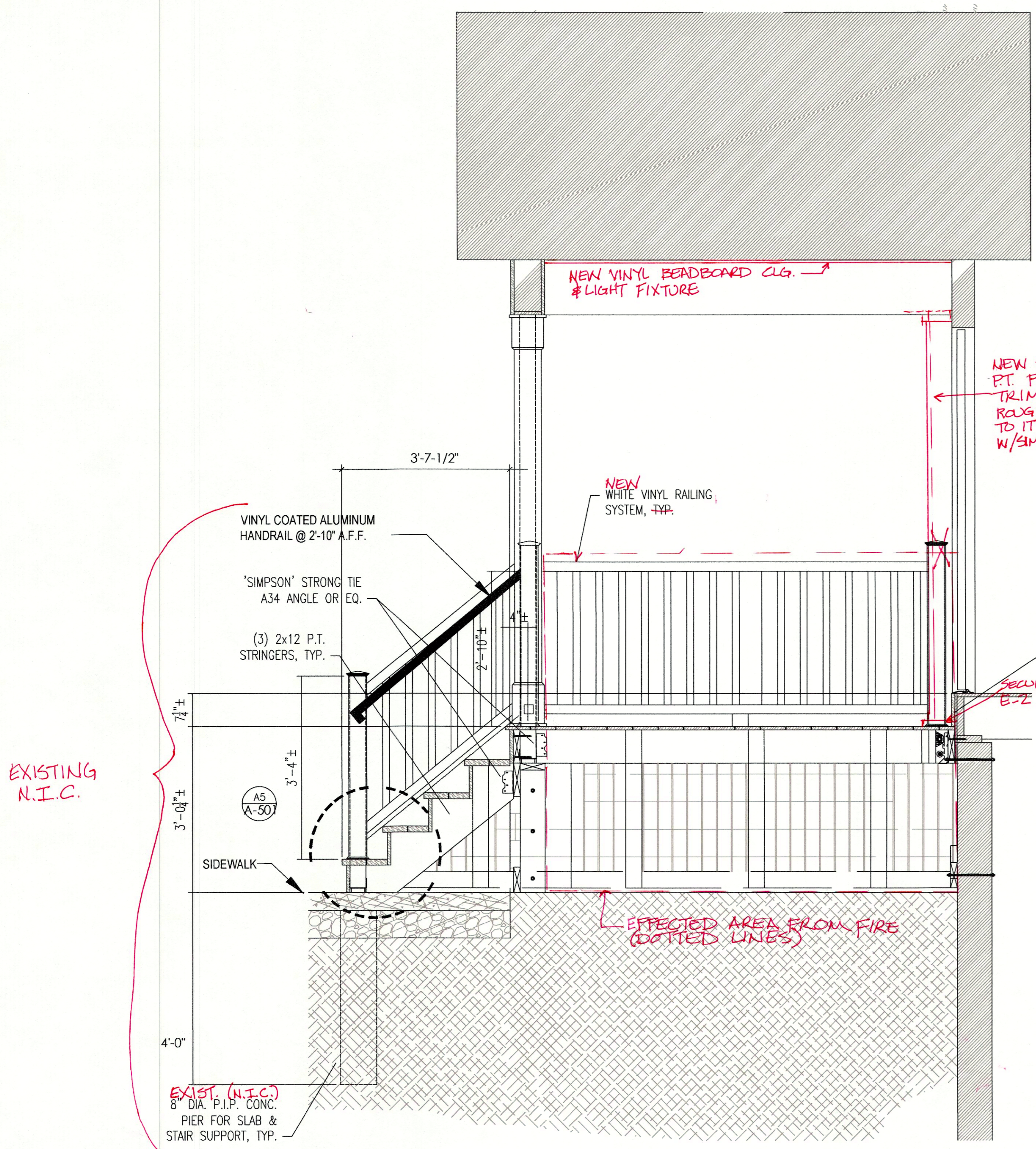
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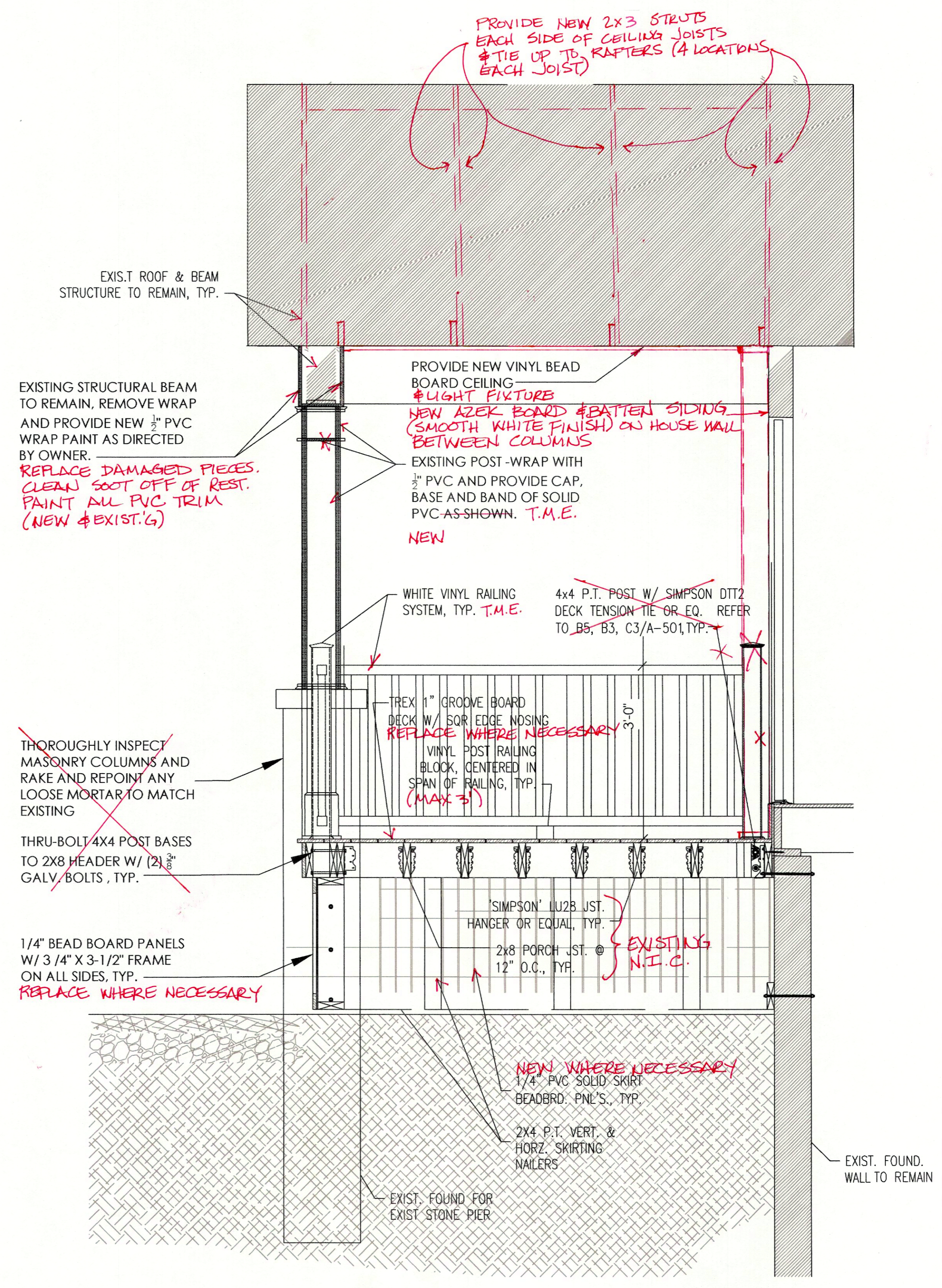
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Porch Replacements 2020
24 Chandler St.
Rochester, NY 14619
Monroe County
Project Name & Location:

Sections	
Drawing Name:	Project No.
Date: 02/10/21	20-0402A
Type: Renov.	
Drawn By: WJD	A-301
Scale: As Noted	Drawing No.



2 Front Porch Stairs
SCALE: 3/4" = 1'-0"



1 Front Porch
SCALE: 3/4" = 1'-0"

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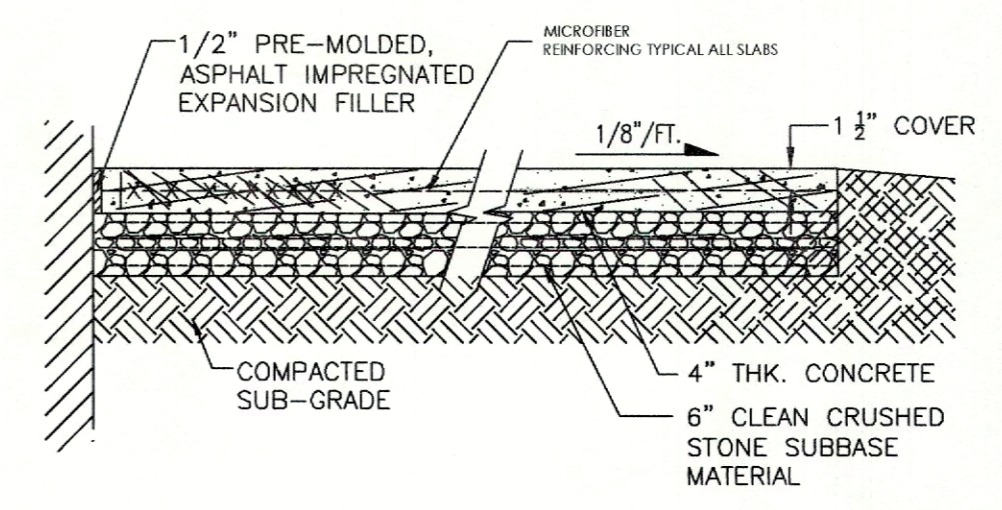
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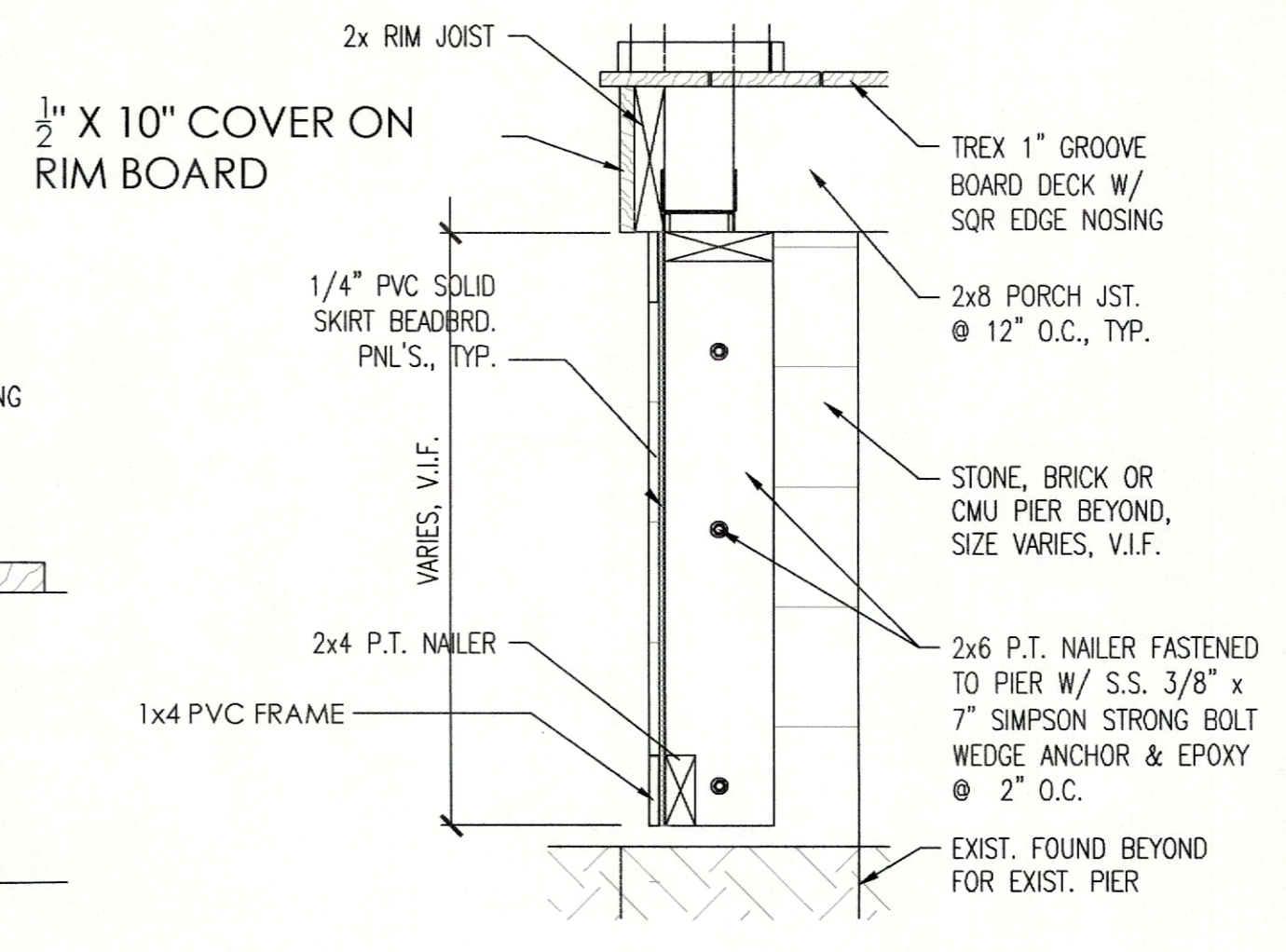
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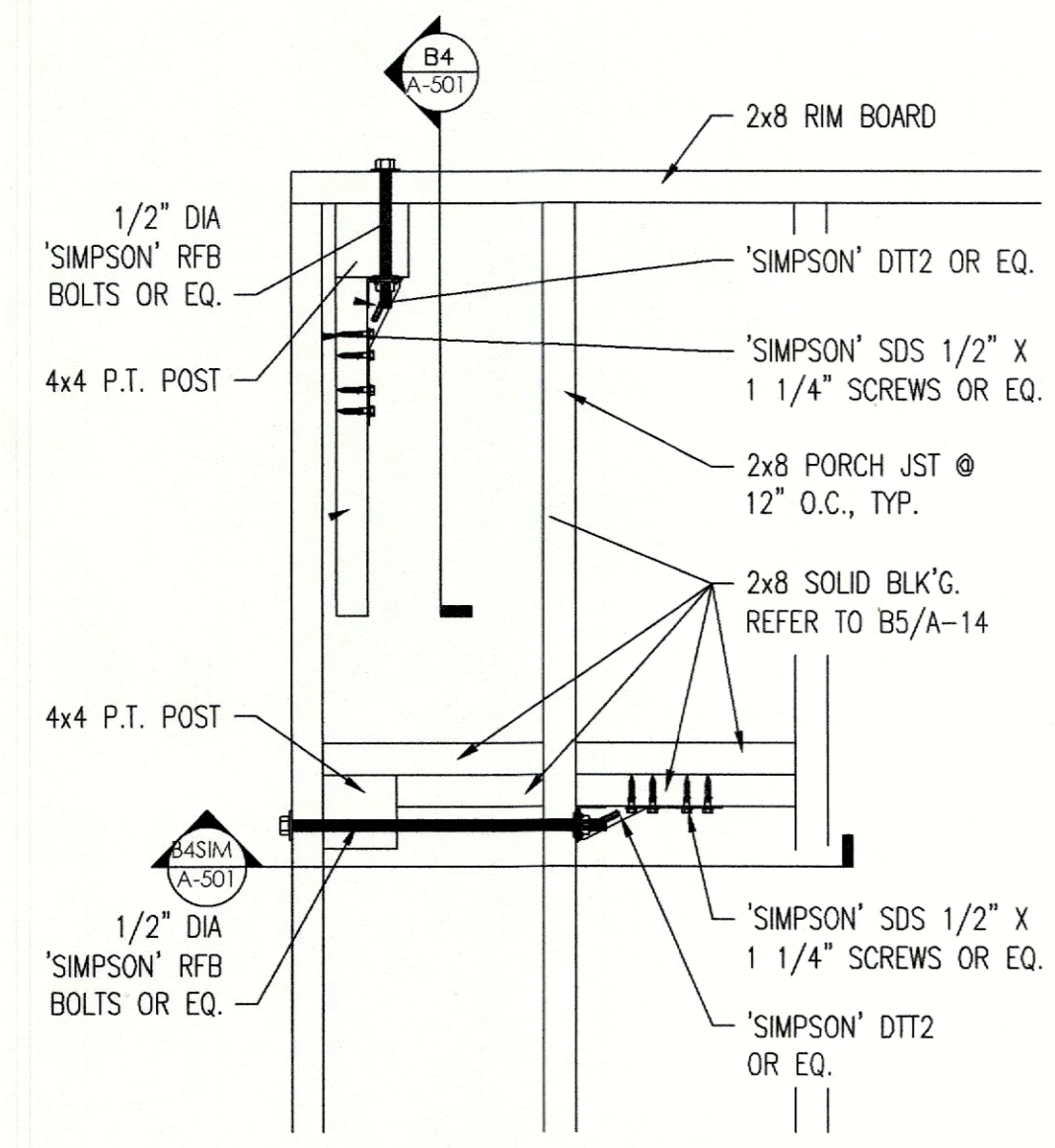
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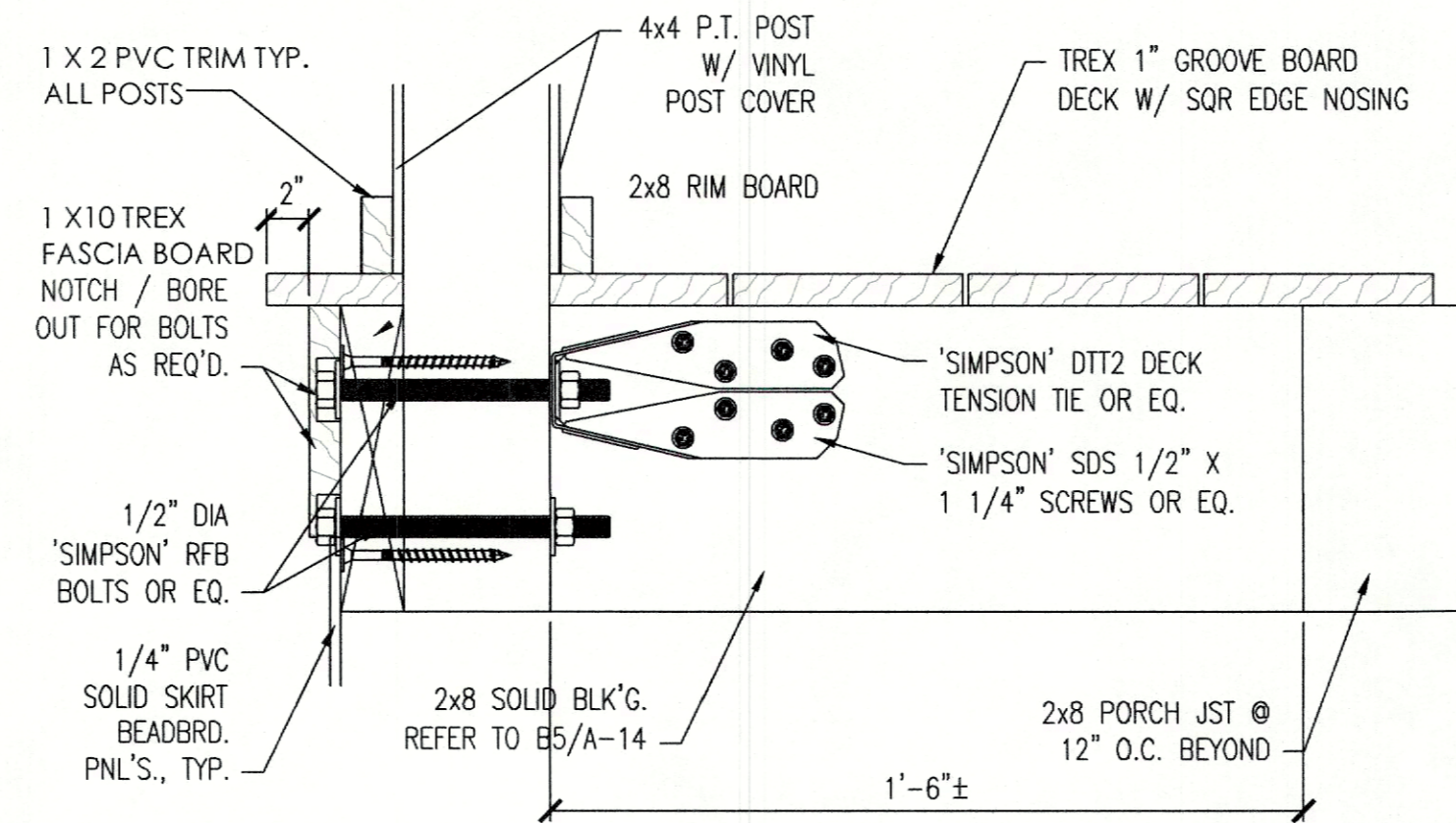
C5 CONC. SLAB DETAIL



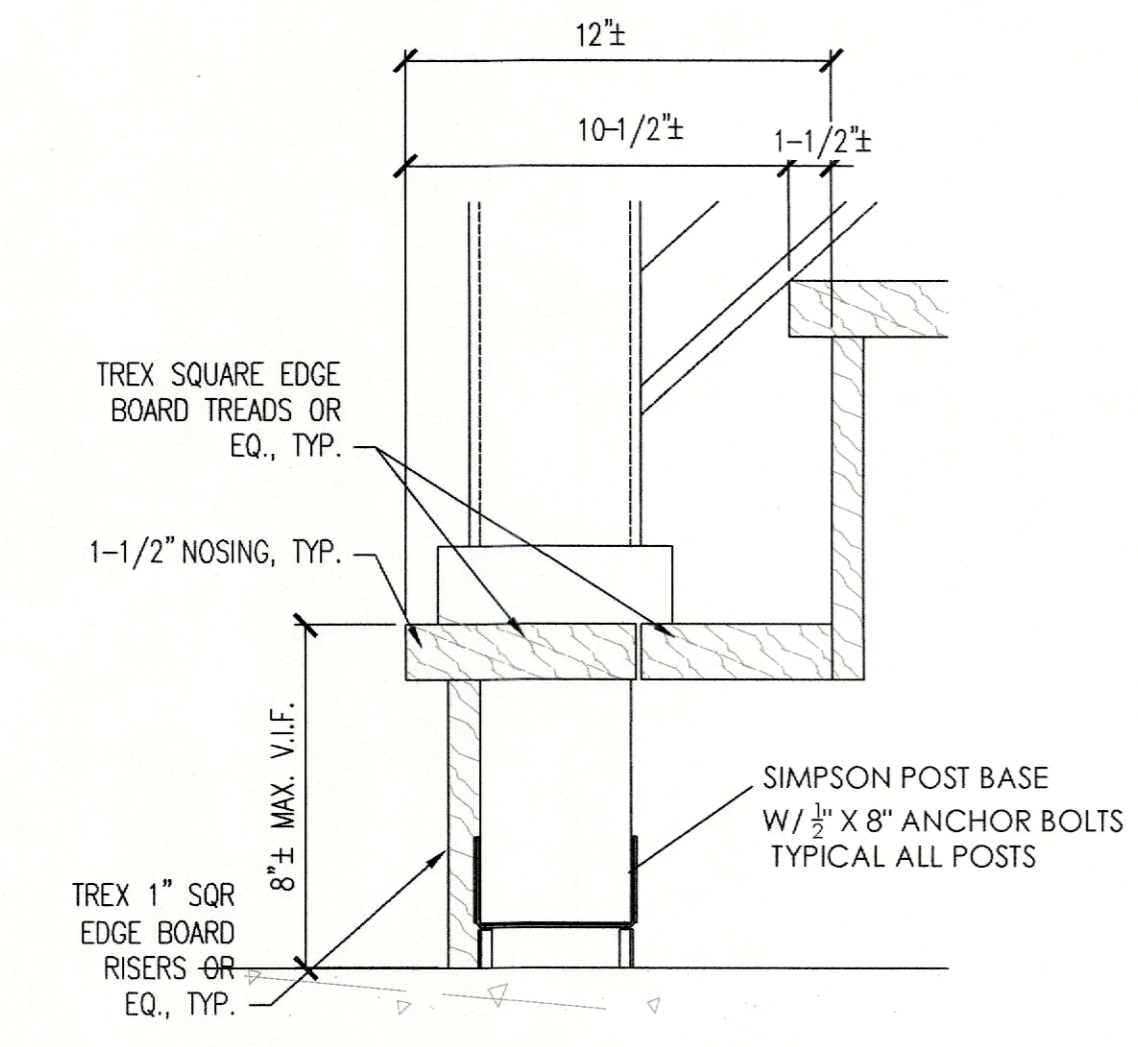
C3 SKIRT DETAIL



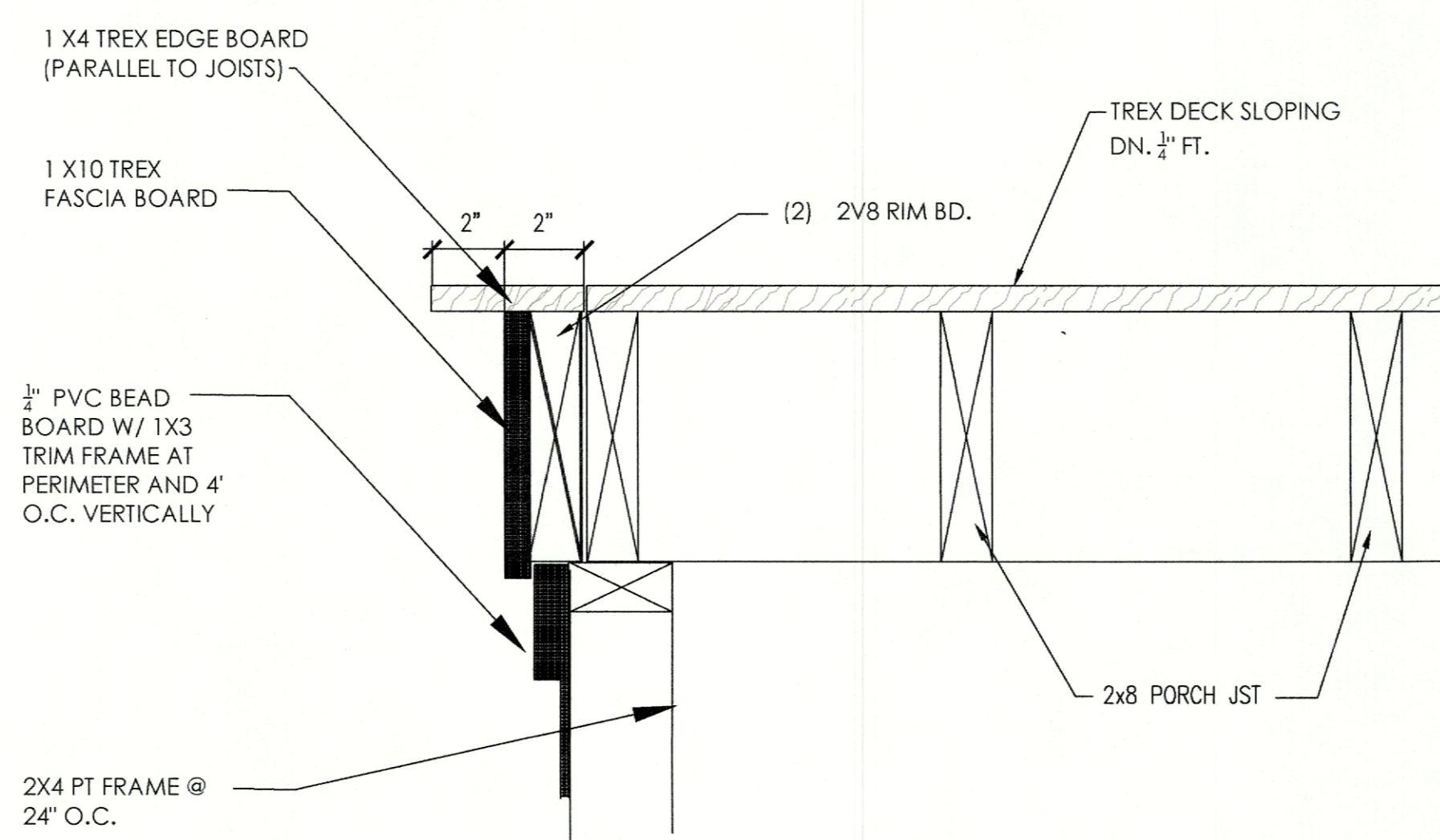
B5 PORCH GUARDRAIL POST PLAN DTL.



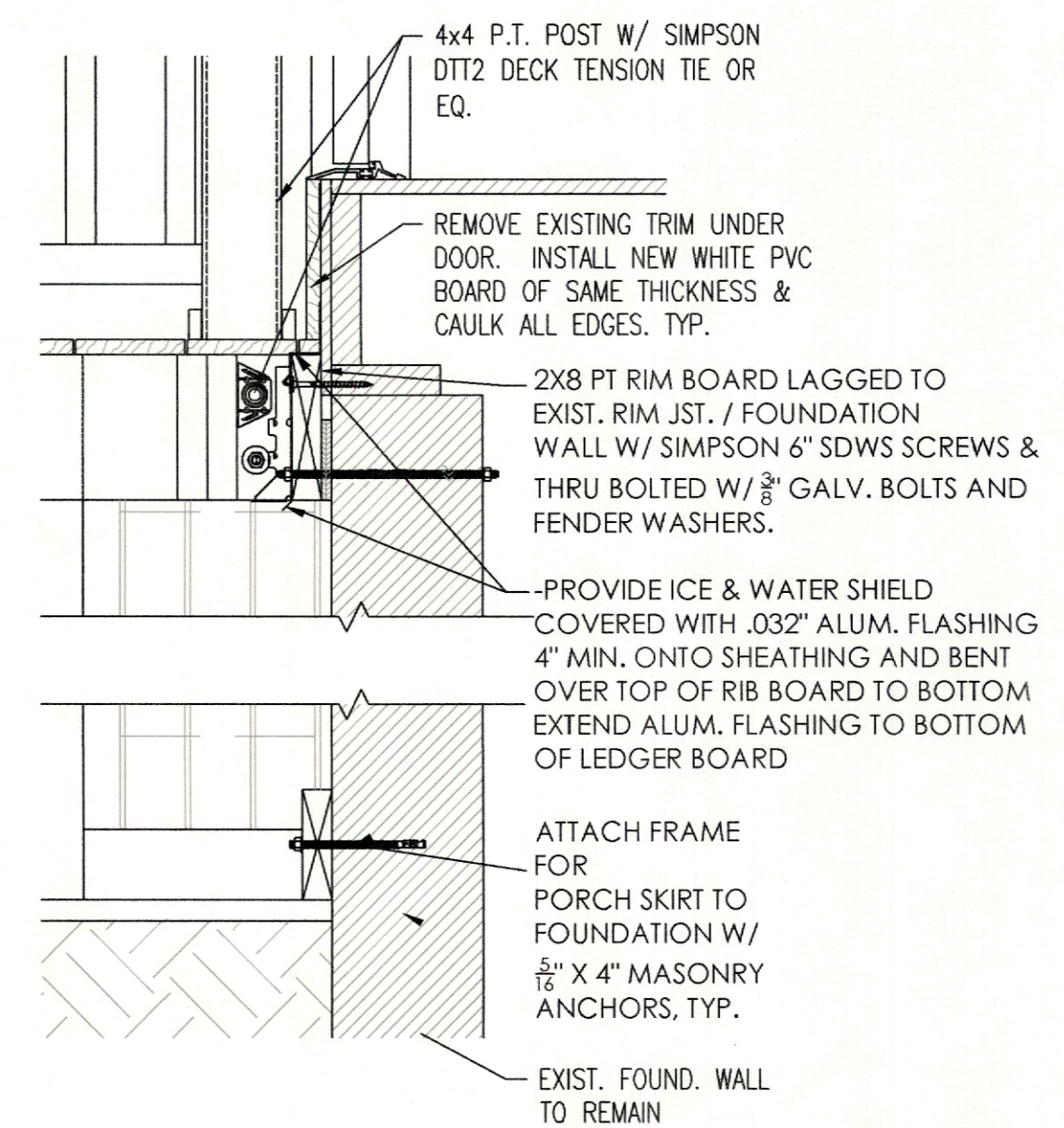
B4 PORCH GUARDRAIL POST DETAIL B



A5 STAIR SECTION DETAIL 1



A4 PORCH EDGE DETAIL



A2 PORCH DETAIL 1

NOTE: ALL FRAMING AND BLOCKING LUMBER SHALL BE WOOD PRESERVATIVE PRESSURE TREATED AND ALL DECKING SHALL BE TREX OR EQUAL.

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Rochester Housing Authority

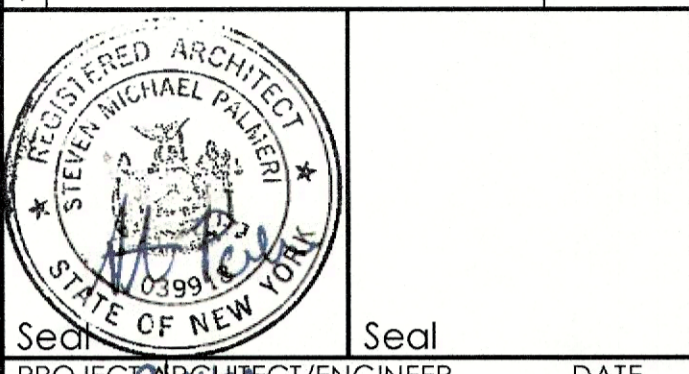
Porch Renovations - P14

York Street Property
134 York Street
Rochester, NY 14605

Drawing Index

G-001	Cover Sheet and Project Locations
A-101	Floor and Foundation Plans
A-102	Exterior Elevations & Building Sections
A-103	Details

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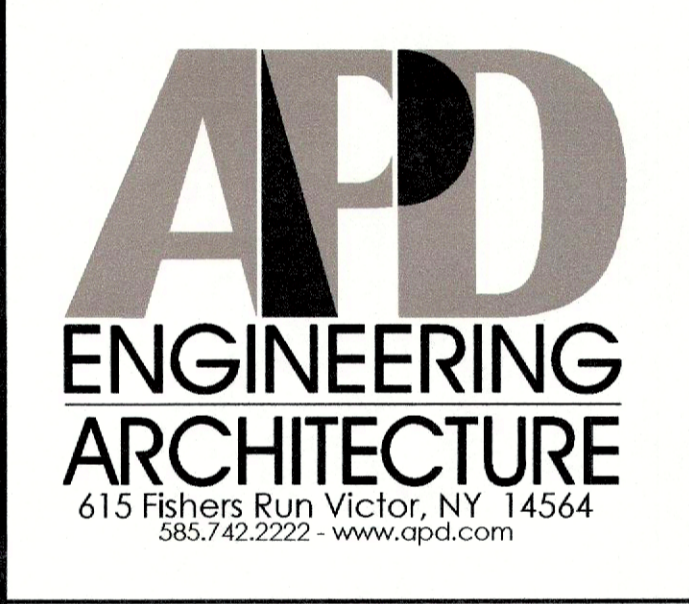


PROJECT ARCHITECT/ENGINEER	DATE
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675 West Main St.
Rochester, NY 14611
(585) 697-3600

Porch Replacements 2022
York Street Property
134 York Street
Rochester, NY 14605
Monroe County
Project Name & Location:

Cover Sheet	
Drawing Name:	
Date: 04/25/22	Project No. 22-0111
Type: Addition	
Drawn By: ASR	G-001
Scale: As Noted	Drawing No.

BUILDING CODE DATA

APPLICABLE CODES

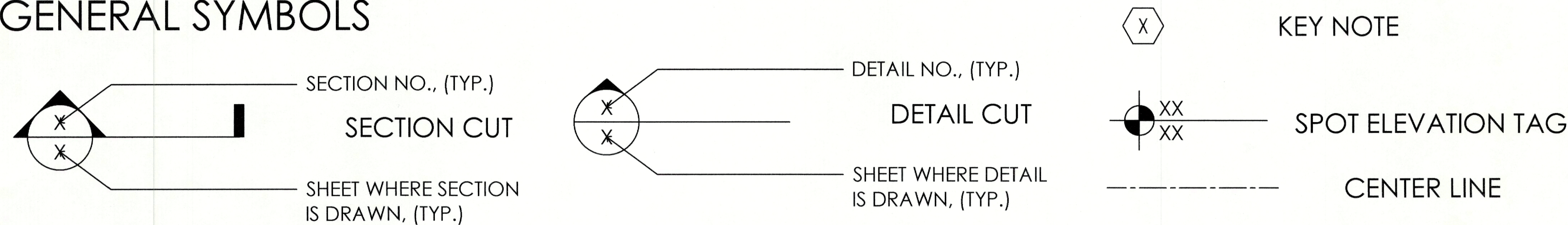
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RHA CONTACT:

Rochester Housing Authority
Julie Fox
Senior Property Rehabilitation Specialist
Development & Capital Projects
675 W. Main St.
Rochester, NY 14611

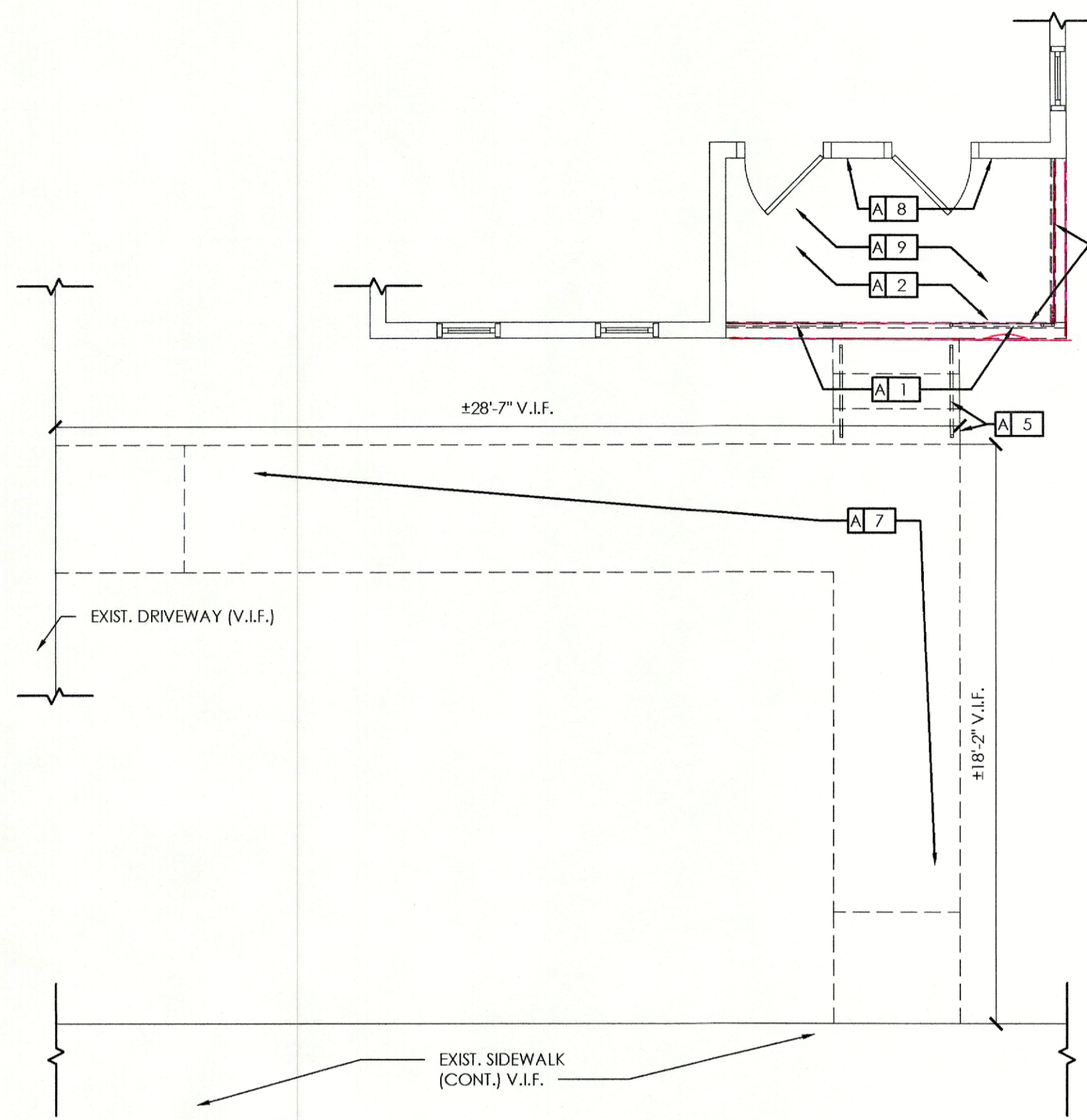
C: (585) 208-0074
E: jfox@RochesterHousing.org

ARCHITECT :

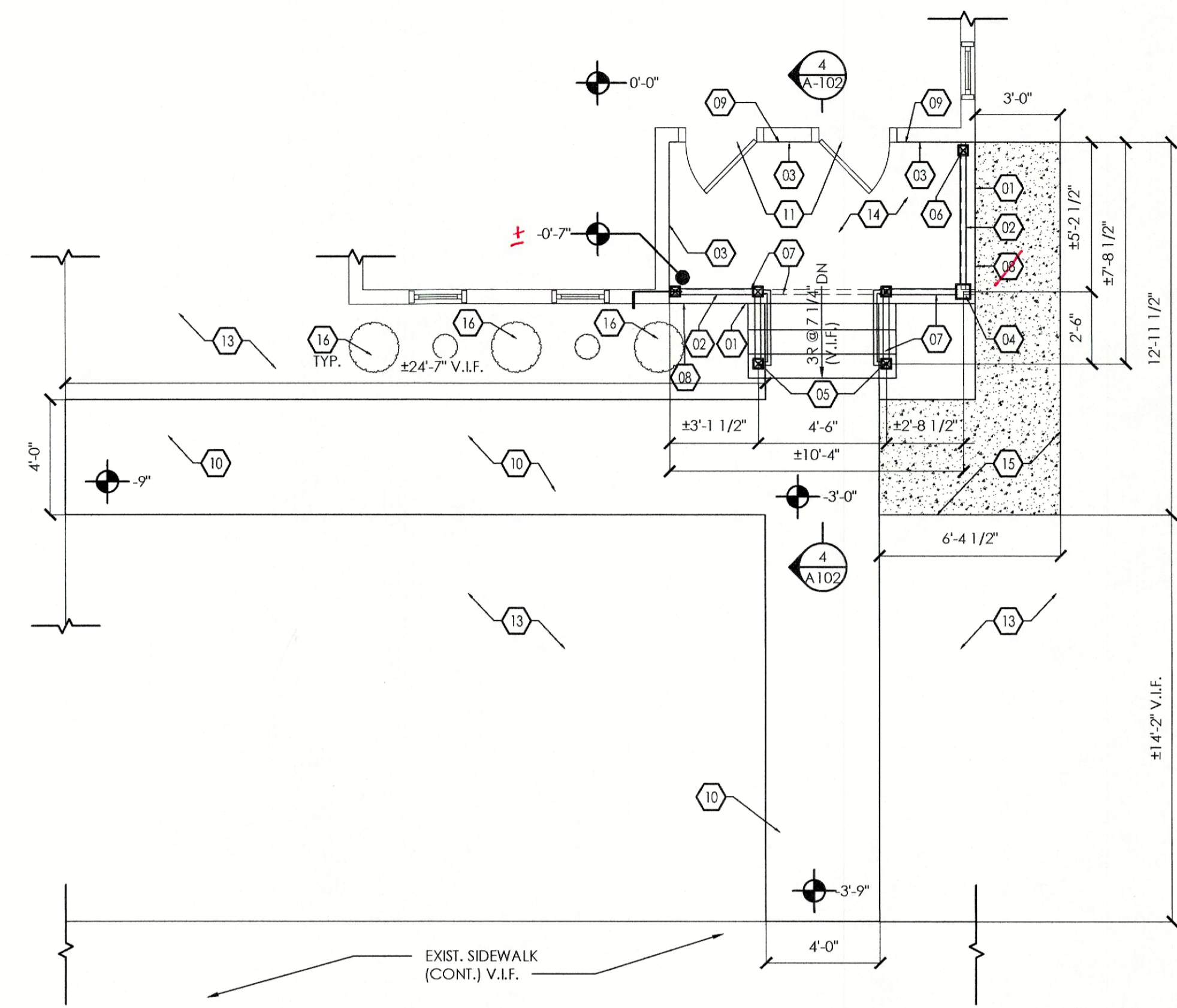
APD Engineering & Architecture
Steve Palmeri,
Architect of Record
615 Fishers Run
Victor, NY 14564

Contact: Steve Palmeri
O: (585) 742-0238
C: (585)
E: spalmeri@apd.com

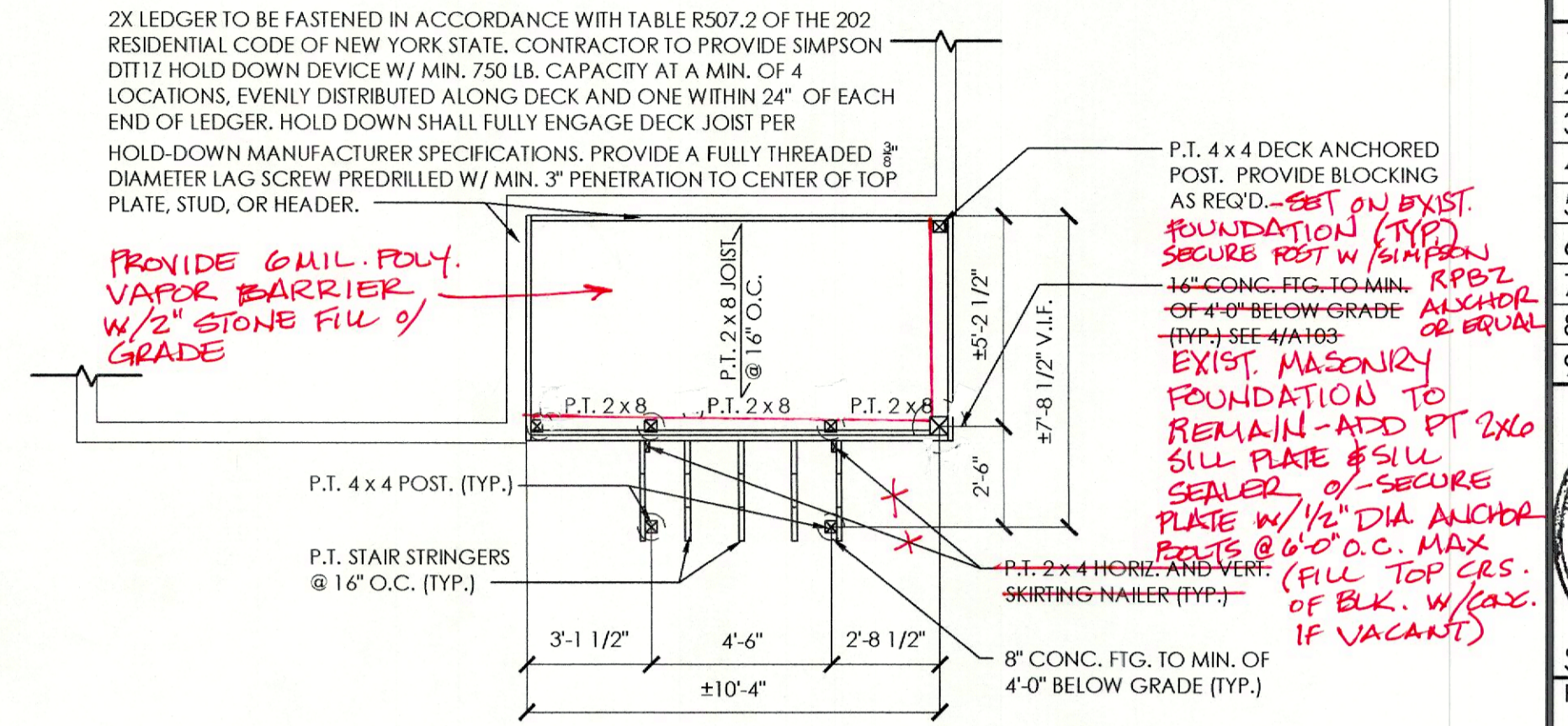
NOTES



1 Demolition Plan
SCALE: 1/4" = 1'-0"



2 Floor Plan
SCALE: 1/4" = 1'-0"



3 Foundation Plan
SCALE: 1/4" = 1'-0"

DEMOLITION KEYNOTES

- A1 - REMOVE EXISTING RAILING AND COLUMNS. PROVIDE TEMPORARY SHORING AS REQUIRED.
- A2 - REMOVE EXISTING DECKING, DECK STRUCTURE AND FOOTING BELOW.
- A3 - NOT USED.
- A4 - EXISTING OVERHEAD STRUCTURAL BEAMS TO REMAIN. EXISTING BEAM WRAPS TO BE REMOVED. PATCH, REPAIR AND/OR REPLACE ROTTEN BEAMS AS REQUIRED.
- A5 - REMOVE EXISTING PRE-FAB CONCRETE STAIRS AND IRON RAILINGS.
- A6 - NOT USED.
- A7 - APPROXIMATE SECTION OF SIDEWALK SHOWN TO BE REPLACED. CONTRACTOR TO FIELD VERIFY CONDITION OF EXISTING SIDEWALK AND REMOVE UNEVEN, DAMAGED AND/OR BROKEN SECTIONS OF SIDEWALK. CONTRACTOR COORDINATE WITH ROCHESTER HOUSING AUTHORITY EXTENTS OF REPLACEMENT PRIOR TO DEMOLITION AND CONSTRUCTION.
- A8 - REMOVE EXISTING HOUSE NUMBERS TO REMAIN.
- A9 - REMOVE EXISTING FINISH CEILING MATERIAL AND LIGHT FIXTURE.

CONSTRUCTION KEYNOTES

- 01 - WRAP 2 x 8 RM W/ 1 x 1/2" PVC TRIM. RIP TRIM BOARD AS REQUIRED TO ENSURE 1" OVERHANG AT BOTTOM OF 2 x 8 #2x6 SILL PLATE.
- 02 - WRAP EXISTING TO REMAIN ROOF STRUCTURE BEAM W/ 1/2" PVC WRAP.
- 03 - PROVIDE CORROSION RESISTANT METAL FLASHING NO LESS THAN .032 INCH (.8MM) OR OTHER APPROVED NON-METALLIC MATERIAL PER SECTION R507.2.4 OF 2020 CODE OF NEW YORK STATE OVER ICE AND WATER SHIELD.
- 04 - P.T. 6 x 6 POST WRAPPED W/ 1/2" PVC. PROVIDE 1 x 2 PVC TRIM (#8" x 8" PLINTHS) BASE AND CAP. PROVIDE SIMPSON POST BASE TO FIT W/ 1/2" ANCHOR BOLTS CAST IN CONCRETE. (TYP.) SEE 4/A103 INTO EXIST MASONRY FOUNDATION (FILL TOP CRS BLK W/ CONC IF CORES ARE VACANT).
- 05 - P.T. 4 x 4 POST WRAPPED W/ VINYL SLEEVE. PROVIDE 1 x 2 PVC TRIM BASE AND CAP. PROVIDE SIMPSON POST BASE TO FIT W/ 1/2" ANCHOR BOLTS CAST IN CONCRETE. (TYP.)
- 06 - NOT USED.
- 07 - PROVIDE WHITE VINYL RAILING AND BALUSTRADE SYSTEM AND 1 3/8" ALUMINUM HANDRAIL @ STAIR LOCATIONS. PROVIDE BLOCKING UNDER RAILING PER MANUF. REC. MAX 3'-0" O.C.
- 08 - PROVIDE 1/2" PVC BEAD BOARD SKIRTING W/ 1 x 4 PVC TRIM FRAME.
- 09 - INSTALL NEW BLACK DIMENSIONAL HOUSE NUMBERS 4" HIGH MOUNTED TO POST. COORDINATE FINAL LOCATION WITH ROCHESTER HOUSING AUTHORITY REPRESENTATIVE.
- 10 - NEW CONCRETE SIDEWALK. SEE 2/A103. SLOPE AND REGRADE AS REQUIRED. V.L.F.
- 11 - PROVIDE NEW 1 x 1/2" PVC TRIM TOE KICK BELOW DOOR THRESHOLD.
- 12 - NOT USED.
- 13 - PROVIDE NEW TOPSOIL AND LANDSCAPING AS REQUIRED TO REPLACE DISTURBED AREAS. SEE RHA SPECIFICATIONS.
- 14 - PROVIDE NEW VINYL BEAD BOARD CEILING AND LIGHT FIXTURES - HAMPTON BAY MODEL #54471291.
- 15 - PROVIDE NEW CONCRETE DUMPSTER PAD.
- 16 - PROVIDE NEW PLANTING CENTERED BETWEEN NEW COLUMNS. PLANTING VARIATION TO INCLUDE A MIXTURE OF BOXWOODS, BARBERRY SHRUBS, VIBURNUM BUSH WITH WIDE BRIM AND/OR LOYALIST HOSTAS IN BETWEEN BUSHES. COORDINATE FINAL PLANTING SELECTION WITH RHA REPRESENTATIVE.

GENERAL SITE NOTES

- 1- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL MUNICIPALITY OR OTHER AGENCIES PRIOR TO STARTING WORK.
- 2- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PRESERVE THE INTEGRITY OF EXISTING UTILITIES TO REMAIN AND SHALL PROVIDE UNINTERRUPTED SERVICE TO ALL USERS OF THE EXISTING UTILITIES.
- 3- ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF ROCHESTER STANDARDS UNLESS SPECIFICALLY NOTED ON THE PLANS, AND SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE CITY OF ROCHESTER.
- 4- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES AND REPAIRS TO ALL UTILITIES, PUBLIC AND PRIVATE ROADWAYS, SIDEWALKS, AND STRUCTURES INCLUDING SIGNS, RESULTING FROM HIS OPERATIONS. SIDEWALKS, DRIVEWAYS, GUTTERS, CURBS AND FENCES SHALL BE REPLACED IN KIND.
- 5- EXISTING UTILITIES (LOCATION, SIZES AND INVERTS) SHOWN ON THE PLANS HAVE BEEN PLOTTED FROM FIELD SURVEYS AND RECORD MAPS AND ARE NOT CERTIFIED AS TO THE ACCURACY OF THEIR LOCATION OR COMPLETENESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES AND STRUCTURES IN THE PATH OF, OR CLOSELY PARALLEL TO, OR UNDER THE PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DELAYS OR DAMAGES OCCURRING AS A RESULT OF INCORRECTLY LOCATED UTILITIES. NO EXTENSIONS OF CONTRACT TIME AND NO MONETARY DAMAGE CLAIMS SHALL BE ALLOWED AS A RESULT OF REVISED DESIGN LOCATIONS OR TIME ALLOWED TO DO SAME WHICH RESULT FROM EXISTING UTILITIES BEING FOUND IN DIFFERENT LOCATIONS THAN SHOWN ON THESE DRAWINGS. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITY OWNERS IN AMPLE TIME FOR THEM TO LOCATE AND MARK THEIR FACILITIES.
- 6- ALL EXISTING SERVICES TO REMAIN. CONTRACTOR SHALL MODIFY AS REQUIRED WHERE AFFECTED BY WORK.

GENERAL CONCRETE & FOUNDATION NOTES:

- 1- ALLOWABLE SOIL BEARING ASSUMED AS 2500 P.S.F.
- 2- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3500 P.S.I. AT 28 DAYS, UNLESS NOTED OTHERWISE.
- 3- BOTTOM OF ALL FOOTINGS TO REST ON UNDISTURBED SOIL.
- 5- ALL CONCRETE SLABS ON GRADE TO REST ON 6" COMPACTED POROUS FILL. (CRUSHED STONE)
- 6- ALL SLABS ON GRADE TO BE REINFORCED WITH FIBER MESH.
- 7- REINFORCING BARS TO CONFORM TO ASTM A-615 GRADE 60. EXCEPT REINFORCING FOR DOWELS TO SLABS TO BE GRADE 40.
- 8- REINFORCING BAR SPLICES & EMBEDMENT LENGTHS TO CONFORM TO LATEST CRSI HANDBOOK COMPLYING WITH ACI 318-CODE OF LATEST ISSUE, UNLESS NOTED OTHERWISE.
- 9- ALL SPLICES IN REINFORCING ARE TO BE CLASS "B", UNLESS NOTED OTHERWISE. CONSIDER ALL HORIZONTAL WALL BARS AS "TOP BARS".
- 10- TERMINATE ALL BARS IN ACCORDANCE WITH ACI-318 CODE OF LATEST ISSUE, WITH A HOOK IF THE REQUIRED EMBEDMENT LENGTH CANNOT BE OBTAINED.

LEGEND

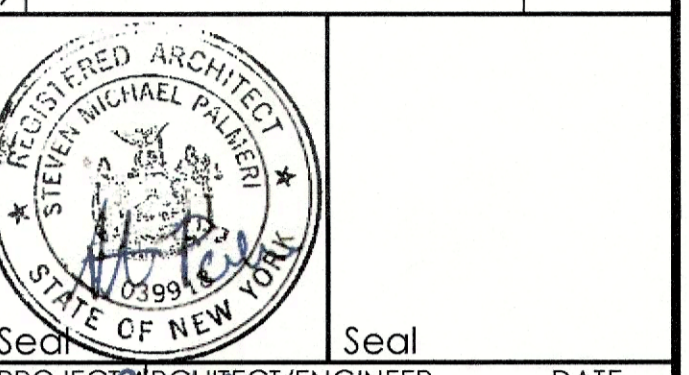
== == == - MATERIALS TO BE REMOVED

GENERAL NOTES:

- CONSTRUCTION SHALL CONFORM TO THE RESIDENTIAL CODE OF NEW YORK STATE, AND REGULATIONS OF THE CITY OF ROCHESTER
- CONTRACTOR IS TO OBTAIN BUILDING PERMITS, PAY FEES, COORDINATE THE SCHEDULE OF INSPECTIONS AS REQUIRED BY THE CITY OF ROCHESTER
- LUMBER DESIGN BASED ON MINIMUM DESIGN PROPERTIES FOR NO. 2 GRADE LUMBER OF DOUGLAS FIR
- WOOD IN CONTACT WITH MASONRY, CONCRETE OR EARTH, OR WITHIN 1'-0" OF GRADE OR EXPOSED TO THE EXTERIOR SHALL BE PRESERVE PRESERVATIVE TREATED.
- FRAMING ANCHORS, JOIST HANGERS, AND MISCELLANEOUS METAL CONNECTING DEVICES FOR WOOD FRAMING SHALL BE GALVANIZED STEEL OF AT LEAST 1/8" GAGE THICKNESS. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. USE NAILS SUPPLIED BY OR RECOMMENDED BY THE MANUF.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL INFORMATION ON THE DRAWINGS.
- CONSTRUCTION METHODS AND CRAFTSMANSHIP ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS
- COORDINATE DEMOLITION WITH PROPOSED WORK
- PROVIDE TEMPORARY SHORING PRIOR TO REMOVING COLUMNS/STRUCTURAL MEMBERS
- CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS IN SUCH A MANNER TO PROTECT AREAS OF BUILDING TO REMAIN.
- ALL ITEMS SHOWN TO BE REMOVED ARE TO BE DISPOSED OF LEGALLY UNLESS OTHERWISE NOTED
- PARGE EXISTING FOUNDATION WALLS FOR WATERPROOFING
- REMOVE ALL UNDER DECK DEBRIS

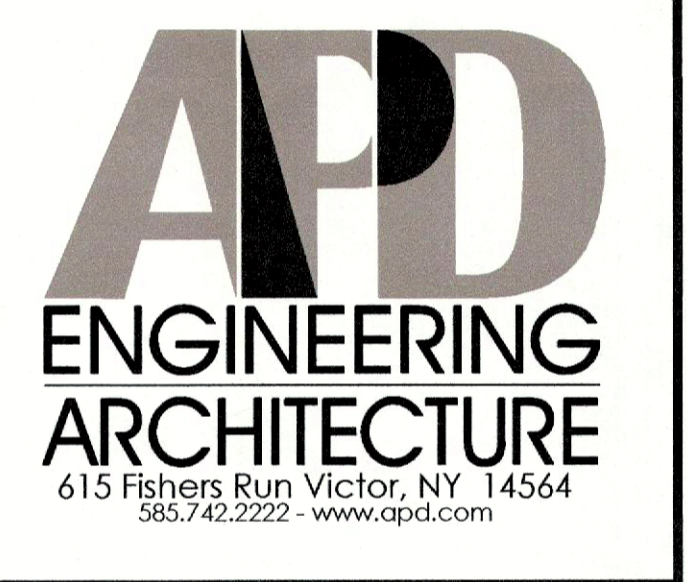
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PROJECT ARCHITECT/ENGINEER	DATE
PROJECT LEAD	DATE
PROJECT DESIGNER	DATE

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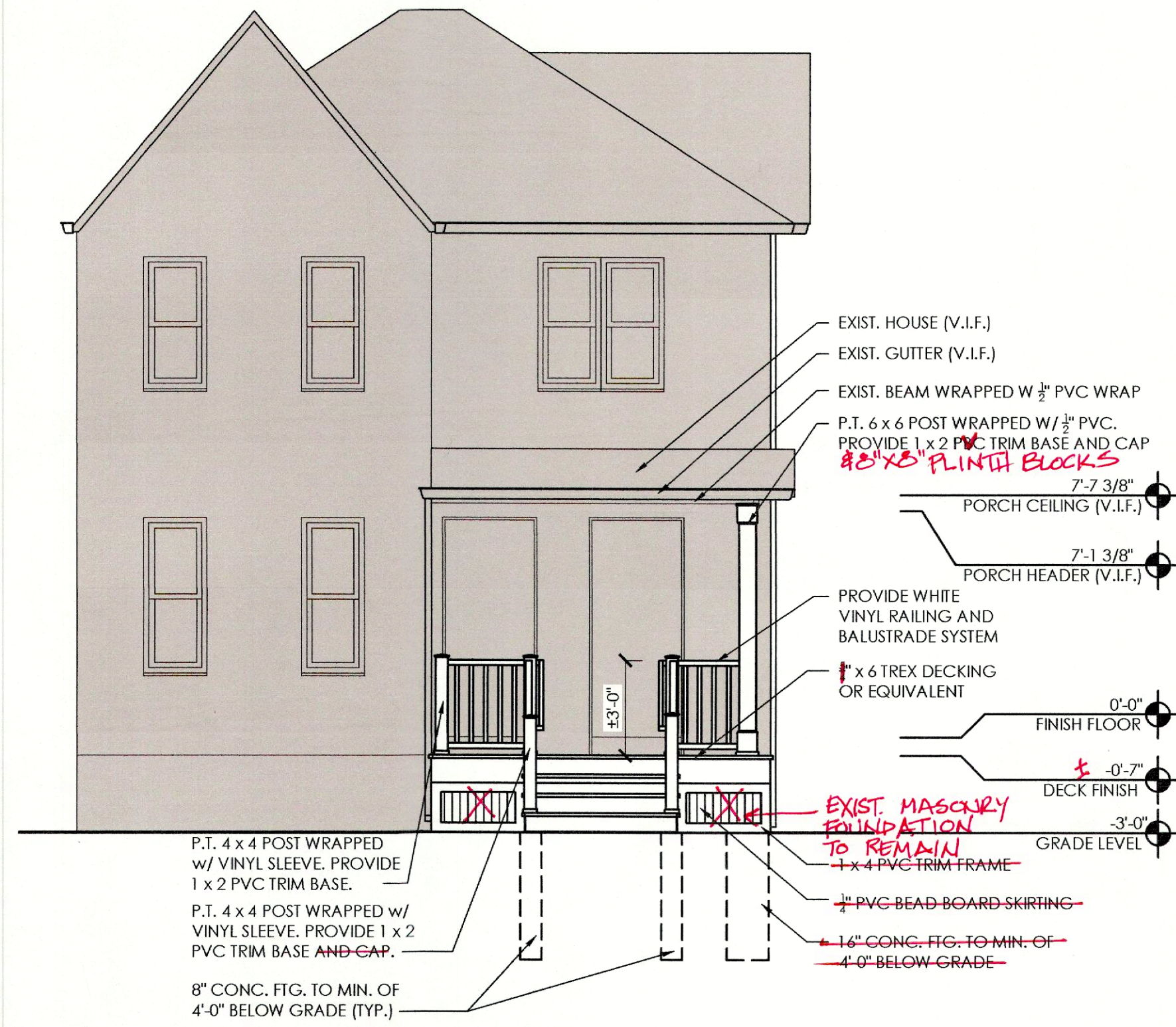


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(585) 697-3600

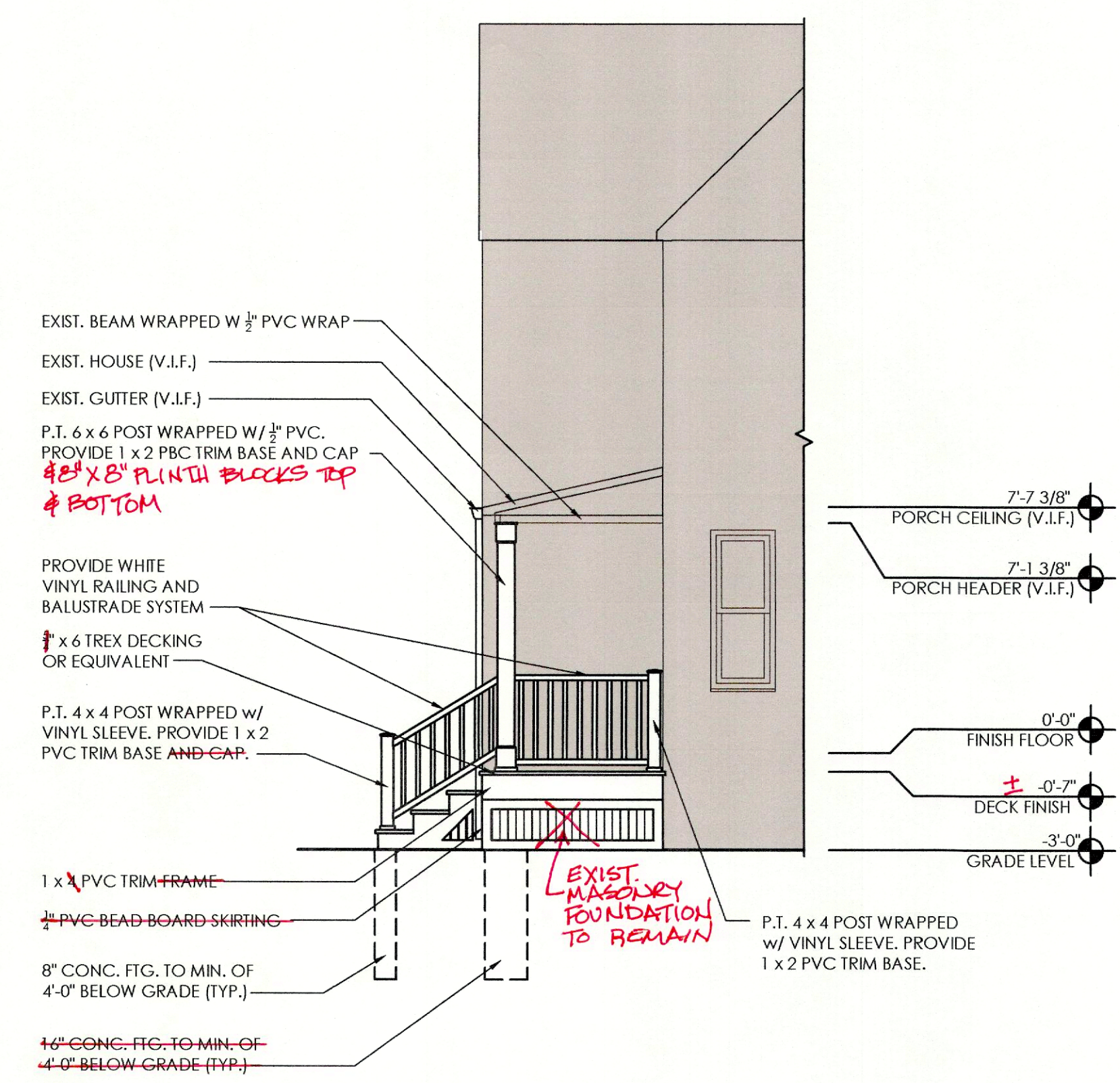
Porch Replacements 2022
York Street Property
134 York Street
Rochester, NY 14605
Monroe County
Project Name & Location:

Plans & Details

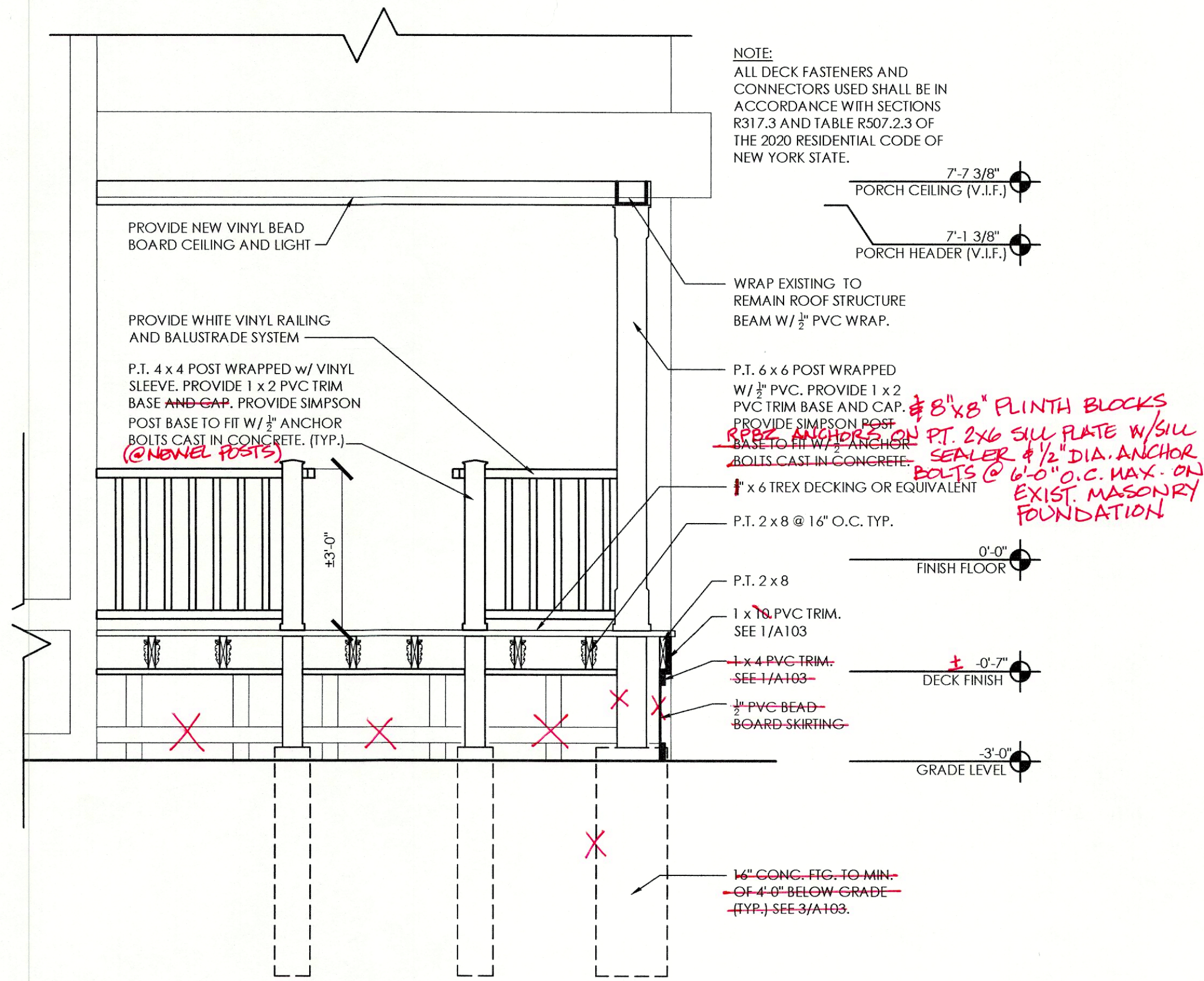
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Date: 04/25/22	22-0111
Type: Addition	
Drawn By: ASR	A-101
Scale: As Noted	Drawing No.



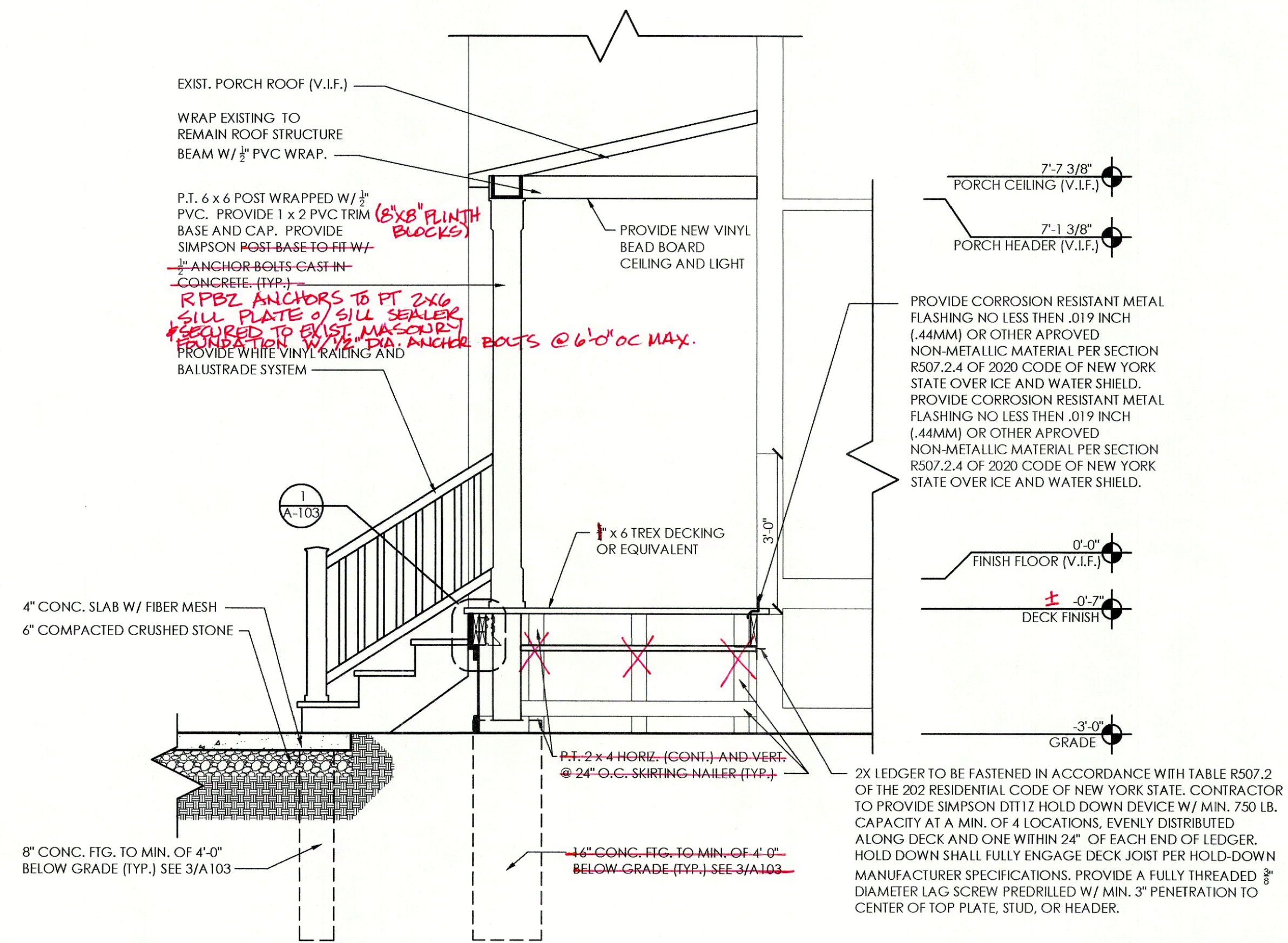
1 Front Exterior Elevation
SCALE: 1/4" = 1'-0"



2 Side Exterior Elevation
SCALE: 1/4" = 1'-0"



3 Building Section
SCALE: 1/2" = 1'-0"



4 Building Section
SCALE: 1/2" = 1'-0"

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Professional Engineer Seal for Michael P. Kelly, State of New York, License No. 03996. Project Architect/Engineer, Project Lead, and Project Designer roles are listed with corresponding dates.

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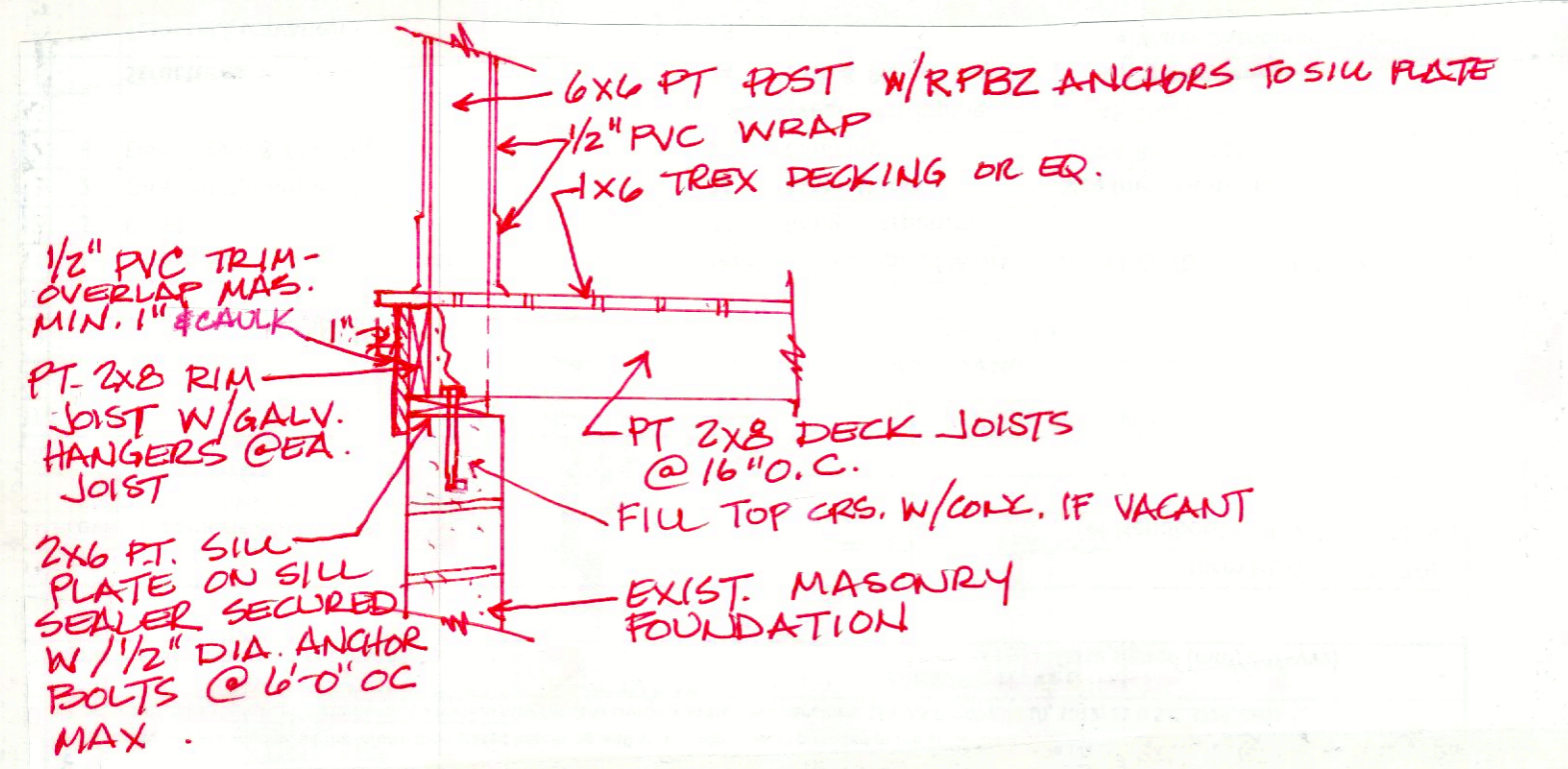
APD ENGINEERING ARCHITECTURE
615 Fishers Run Victor, NY 14564
585.742.2222 - www.apd.com

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Rochester, NY 14611
(585) 697 3600

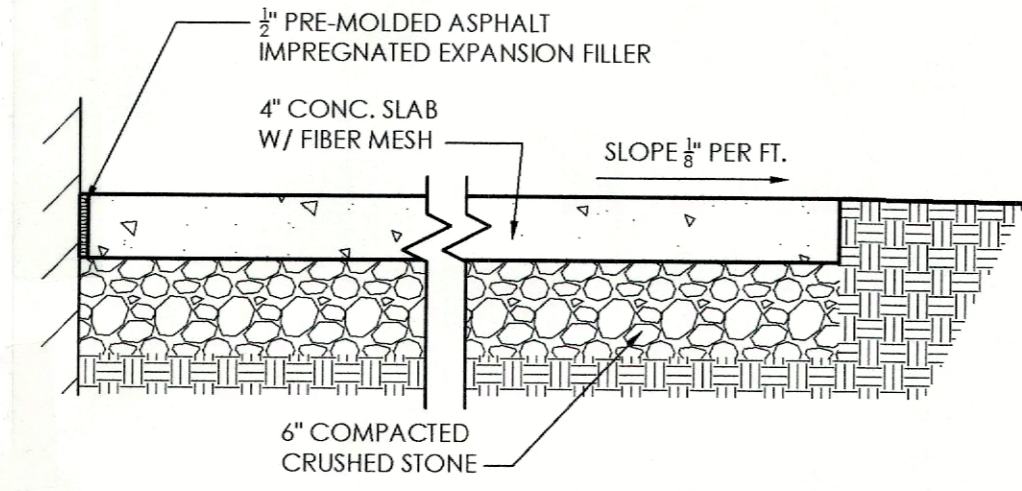
Porch Replacements 2022
York Street Property
134 York Street
Rochester, NY 14605
Monroe County
Project Name & Location:

Exterior Elevations & Building Sections	
Drawing Name:	
Date: 04/25/22	Project No. 22-0111
Type: Addition	
Drawn By: ASR	A102
Scale: As Noted	Drawing No.

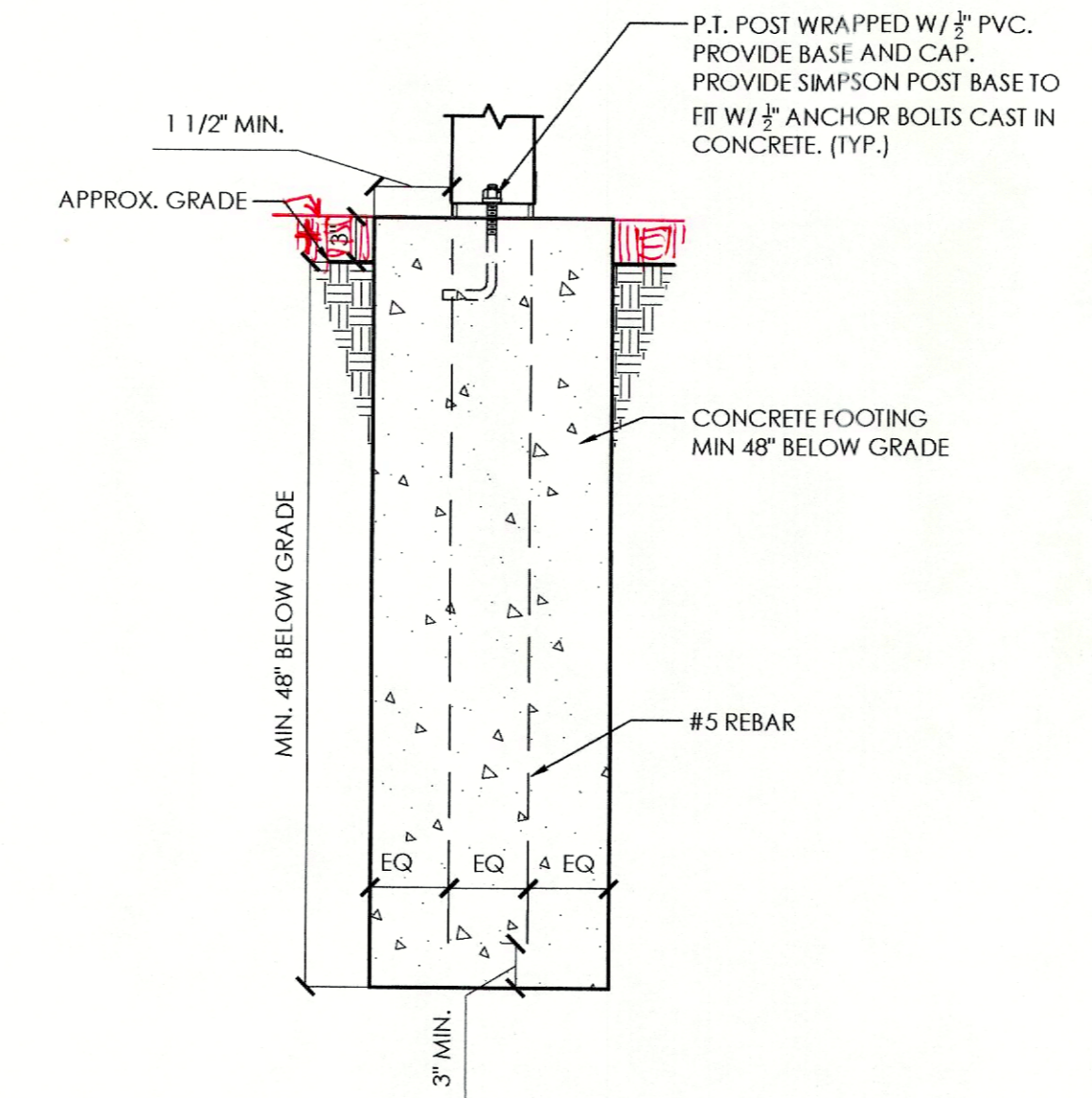
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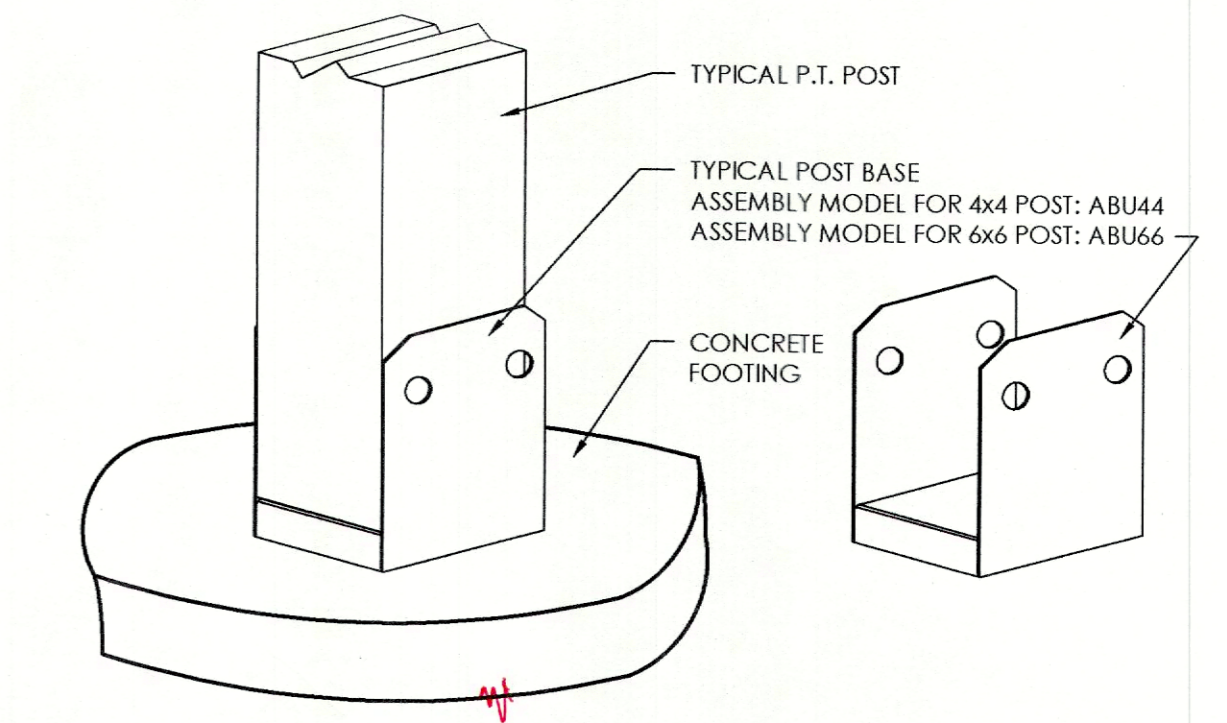
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SCALE: 1" = 1'-0"



2 Conc Slab Detail (TYP.)
SCALE: 1" = 1'-0"

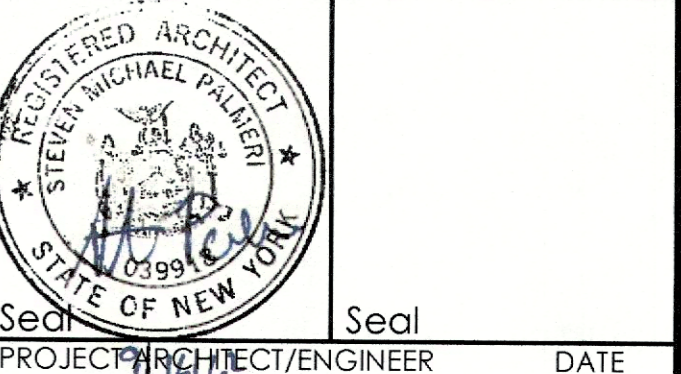


3 Section @ Post Footing
SCALE: 1" = 1'-0"



4 Post Connector Detail
SCALE: NTS

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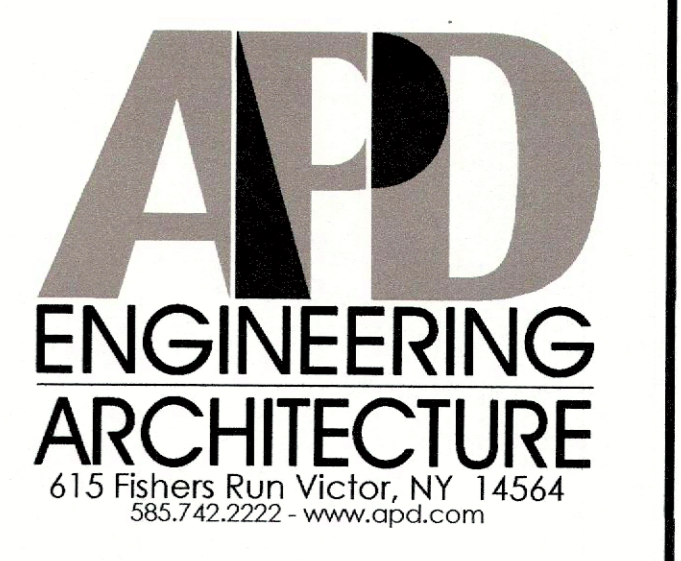


PROJECT ARCHITECT/ENGINEER	DATE
PROJECT LEAD	DATE
PROJECT DESIGNER	DATE

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Porch Replacements 2022
York Street Property
134 York Street
Rochester, NY 14605
Monroe County
Project Name & Location:

Exterior Elevations & Building Sections
Drawing Name:

Date: 04/25/22	Project No. 22-0111
Type: Addition	
Drawn By: ASR	A103
Scale: As Noted	Drawing No.

Rochester Housing Authority

Porch Renovations - P14

Rugby Avenue Property
111 Rugby Avenue Street
Rochester, NY 14605

Drawing Index

G-001	Cover Sheet and Project Locations
A-101	First Floor & Foundation Plans
A-102	Exterior Elevations
A-103	Building Sections & Details

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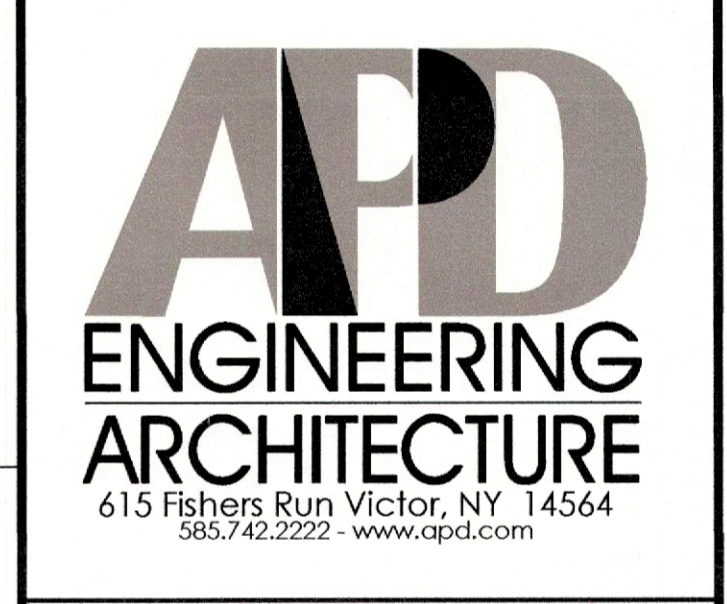
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PROJECT DESIGNER DATE

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BUILDING CODE DATA

APPLICABLE CODES

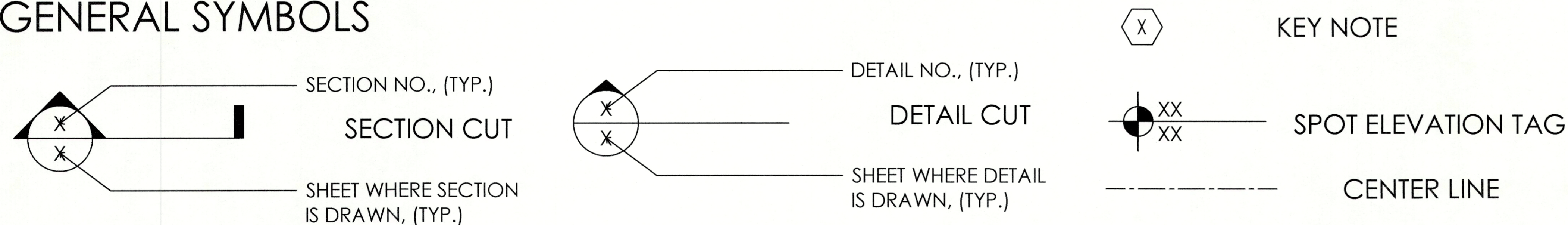
- 2020 NYS RESIDENTIAL CODE (IRC)
- 2020 NYS UNIFORM CODE SUPPLEMENT (UCS)

OCCUPANCY: ONE AND TWO FAMILY DWELLING PER 101.2.1 (UCS)

CONSTRUCTION CLASSIFICATION: TYPE VB

CLASSIFICATION OF WORK: COMPLY WITH APPENDIX J OF THE IRC PER 101.2.1.3 OF THE UCS 'ALTERATION' PER SECTION AJ201 DEFINITIONS; EXISTING BUILDINGS AND STRUCTURES, APPENDIX J (IRC); SECTION AJ102, COMPLIANCE; SECTION AJ401, RENOVATIONS (ALSO APPLIES); AJ401.1; MATERIALS PER IRC; SECTION AJ501, ALTERATIONS; AJ501.2; NON-CONFORMITIES, SHALL NOT INCREASE

GENERAL SYMBOLS



RHA CONTACT:

Rochester Housing Authority
Julie Fox
Senior Property Rehabilitation Specialist
Development & Capital Projects
675 W. Main St.
Rochester, NY 14611

C: (585) 208-0074
E: jfox@RochesterHousing.org

ARCHITECT :

APD Engineering & Architecture
Steve Palmeri,
Architect of Record
615 Fishers Run
Victor, NY 14564

Contact: Steve Palmeri
O: (585) 742-0238
C: (585)
E: spalmeri@apd.com

NOTES

THESE DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS; IN ANY AND ALL CONFLICTS BETWEEN THE DRAWINGS AND THE TECHNICAL SPECIFICATIONS, THE MOST STRINGENT REQUIREMENT WILL GOVERN AND THE G.C. SHALL COORDINATE WITH THE RHA REPRESENTATIVE.

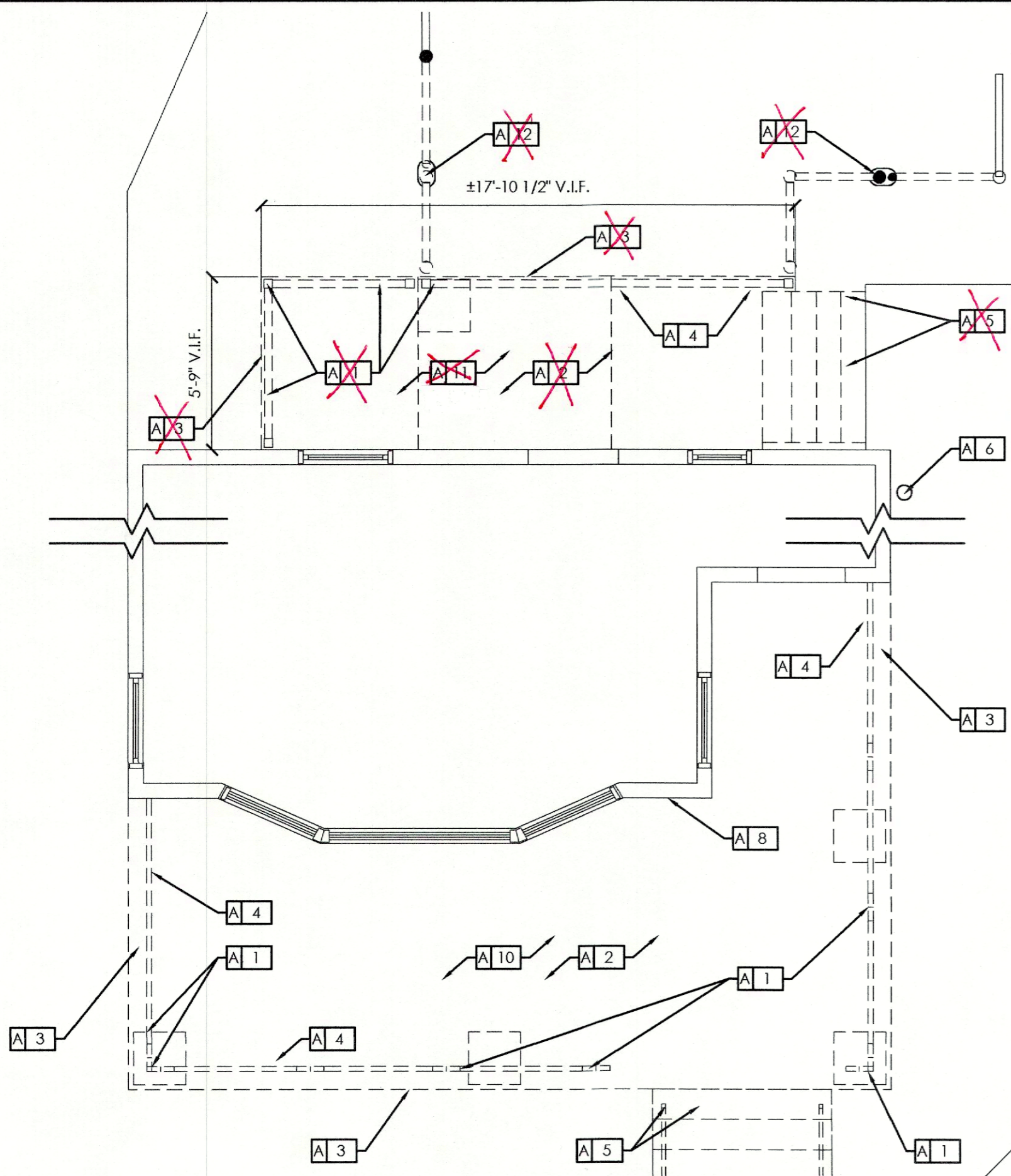
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Rochester, NY 14611
(585) 497-3600

Porch Replacements 2022
Rugby Ave Property
111 Rugby Ave
Rochester, NY 14619
Monroe County
Project Name & Location:

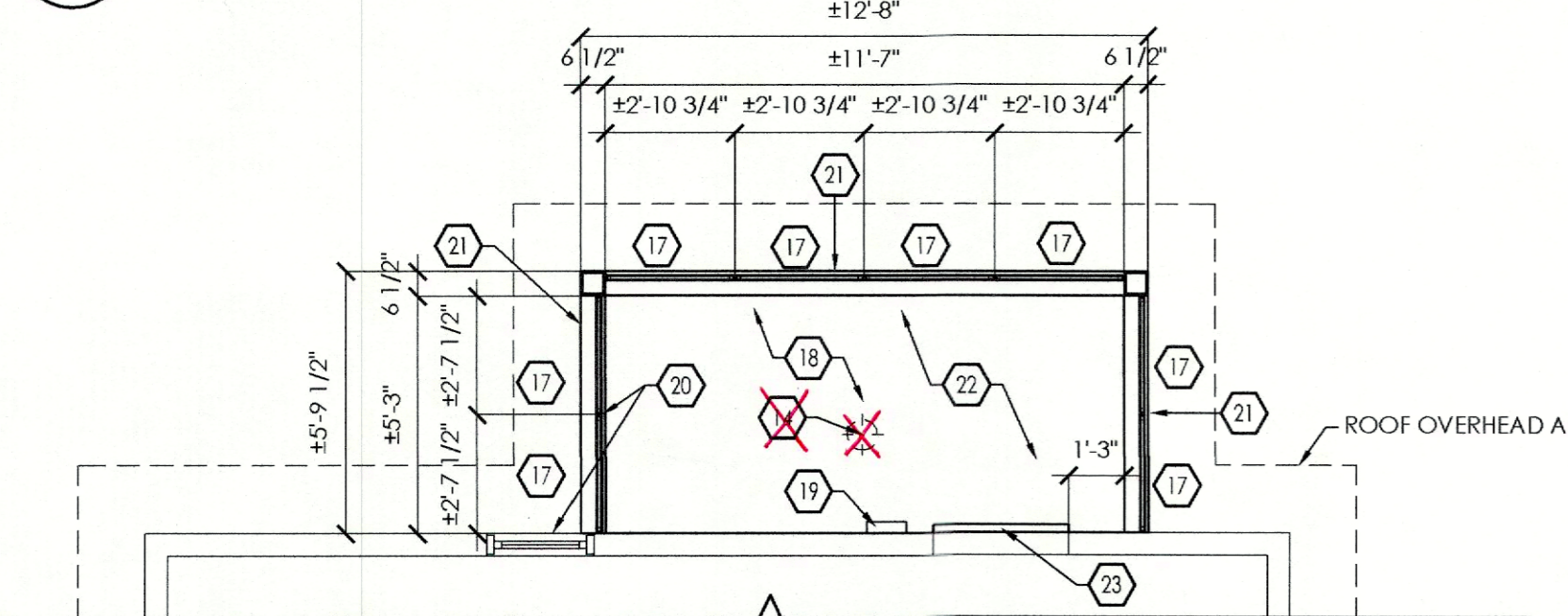
Cover Sheet

Drawing Name:	Project No.
Date: 04/25/22	22-0111
Type: Addition	
Drawn By: ASR	G-001
Scale: As Noted	Drawing No.

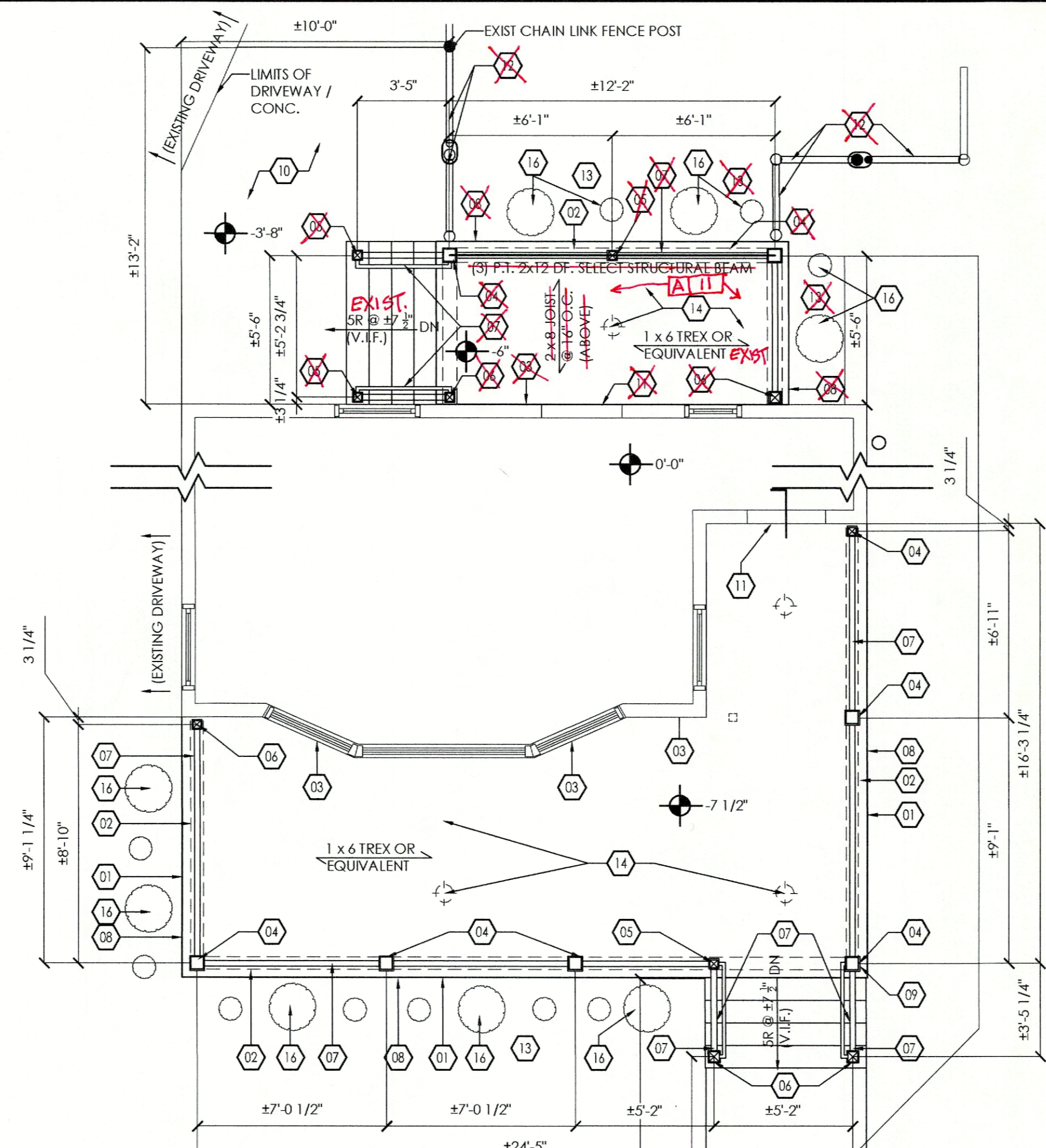


- DEMOLITION KEYNOTES**
- A 1 - REMOVE EXISTING RAILING AND COLUMNS. PROVIDE TEMPORARY SHORING AS REQUIRED.
 - A 2 - REMOVE EXISTING DECKING, DECK STRUCTURE AND FOOTING BELOW.
 - A 3 - REMOVE EXISTING WOOD SKIRTING AND BRICK PIERS/FOOTING BELOW AS REQUIRED.
 - A 4 - EXISTING OVERHEAD STRUCTURAL BEAMS TO REMAIN. EXISTING BEAM WRAPS TO BE REMOVED. PATCH, REPAIR AND/OR REPLACE ROTTED BEAMS AS REQUIRED. NOTIFY ARCHITECT FOR DIRECTION PRIOR TO ANY REPLACEMENT OR REPAIRS.
 - A 5 - REMOVE EXISTING STAIRS & RAILING.
 - A 6 - EXISTING UTILITY PIPING TO BE FIELD VERIFIED TO AND PROTECTED DURING DEMOLITION AND CONSTRUCTION.
 - A 7 - REMOVE EXISTING SIDEWALK.
 - A 8 - LEAVE EXISTING HOUSE NUMBERS ON HOUSE & ADD NEW ONES TO COLUMN.
 - A 9 - NOT USED.
 - A 10 - REMOVE EXISTING FINISH CEILING MATERIAL AND LIGHT FIXTURE.
 - A 11 - REMOVE EXIST. ENCLOSED PORCH ABOVE IN ITS ENTIRETY UP TO EXISTING ROOF. EXISTING OVERHEAD ROOF AND STRUCTURE TO REMAIN EXISTING BEAM WRAPS TO BE REMOVED. PATCH, REPAIR AND/OR REPLACE ROTTED BEAMS AS REQUIRED. NOTIFY ARCHITECT FOR DIRECTION PRIOR TO ANY REPLACEMENT OR REPAIRS. **PROVIDE JOIST HANGERS ON ALL JOISTS @ HOUSE CONNECTION.**
 - A 12 - REMOVE SECTION OF CHAIN LINK FENCE AND GATE AS REQUIRED TO ACCOMMODATE DEMOLITION AND NEW CONSTRUCTION. RETAIN FOR REINSTALLATION.

1 Demolition Plan
SCALE: 1/4" = 1'-0"



4 Second Floor Plan
SCALE: 1/4" = 1'-0"



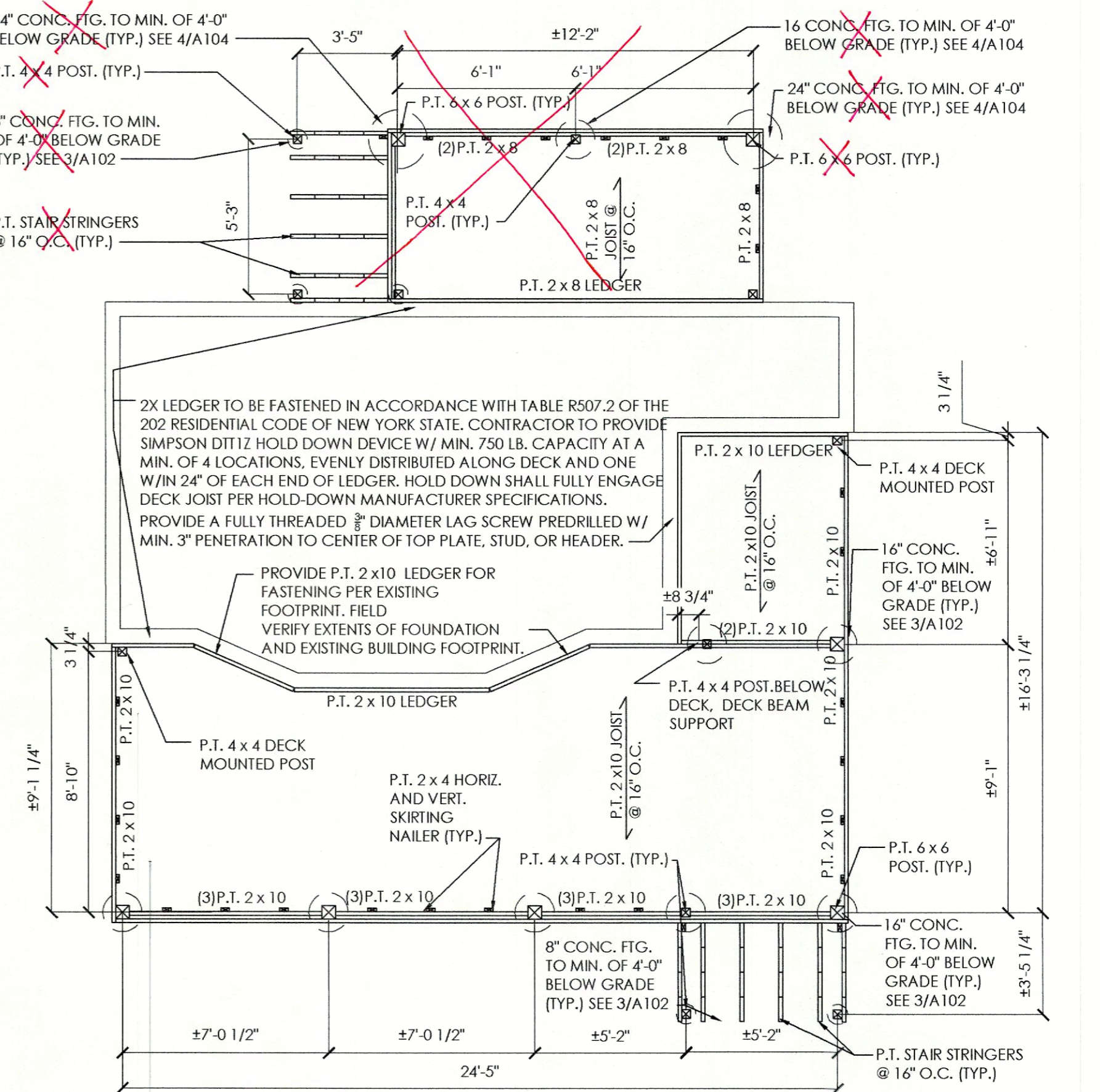
- CONSTRUCTION KEYNOTES**
- 01 - WRAP 2 x 10 RIM W/ 1 x PVC TRIM. RIP TRIM BOARD AS REQUIRED TO ENSURE 1" OVERHANG AT BOTTOM OF 2 x 10
 - 02 - WRAP EXISTING TO REMAIN ROOF STRUCTURE BEAM W/ 1/2" PVC WRAP.
 - 03 - PROVIDE CORROSION RESISTANT METAL FLASHING NO LESS THAN .032 INCH (.81MM) OR OTHER APPROVED NON-METALLIC MATERIAL PER SECTION R507.2.4 OF 2020 CODE OF NEW YORK STATE OVER ICE AND WATER SHIELD
 - 04 - P.T. 6 x 6 POST WRAPPED W/ 1/2" PVC. PROVIDE 1 x 2 PVC TRIM AT BASE AND CAP. PROVIDE SIMPSON POST BASE TO FIT W/ 1/2" ANCHOR BOLTS CAST IN CONCRETE. (TYP.)
 - 05 - P.T. 4 x 4 POST WRAPPED W/ VINYL SLEEVE. PROVIDE 1 x 2 PVC TRIM BASE AND CAP. PROVIDE SIMPSON POST BASE TO FIT W/ 1/2" ANCHOR BOLTS CAST IN CONCRETE. (TYP.)
 - 06 - P.T. 4 x 4 POST (DECK ANCHORED) WRAPPED W/ VINYL SLEEVE AND 1 x 2 PVC TRIM BASE AND CAP AND BLOCKING AS REQ'D.
 - 07 - PROVIDE WHITE VINYL RAILING AND BALUSTRADE SYSTEM AND 1 x 2 ALUMINUM HANDRAIL @ STAIR LOCATIONS. PROVIDE BLOCKING UNDER RAILING PER MANUF. REC. MAX 3'-0" O.C.
 - 08 - PROVIDE 1/2" PVC BEAD BOARD SKIRTING W/ 1 x 4 PVC TRIM FRAME
 - 09 - INSTALL NEW BLACK DIMENSIONAL HOUSE NUMBERS 4" HIGH MOUNTED TO POST. COORDINATE FINAL LOCATION WITH ROCHESTER HOUSING AUTHORITY REPRESENTATIVE.
 - 10 - NEW CONCRETE SIDEWALK. SEE 2/A104
 - 11 - PROVIDE NEW 1 x PVC TRIM TOE KICK BELOW DOOR THRESHOLD
 - 12 - RE-INSTALL AND/OR REPLACE AS REQUIRED SECTION OF CHAIN-LINK FENCE AND GATE
 - 13 - PROVIDE NEW TOPSOIL, MULCH, PLANTING AND LANDSCAPING AS REQUIRED TO REPLACE DISTURBED AREAS. SEE RHA SPECIFICATIONS
 - 14 - PROVIDE NEW VINYL BEAD BOARD CEILING AND LIGHT FIXTURES - HAMPTON BAY MODEL #5471291
 - 15 - CONTRACTOR TO VERIFY IN FIELD BAY WINDOW CONSTRUCTION AND RESTORE AS REQ'D TO INCLUDE R-30 INSULATION AND WEATHERPROOF FINISH (EXT. PLYWOOD IF NO FOUNDATION EXISTS BELOW
 - 16 - PROVIDE NEW PLANTING CENTERED BETWEEN NEW COLUMNS. PLANTING VARIATION TO INCLUDE A MIXTURE OF BOXWOODS, BARBERRY SHRUBS, VIBURNUM BUSH WITH WIDE BRIM AND/OR LOYALST HOSTAS IN BETWEEN BUSHES. COORDINATE FINAL PLANTING SELECTION WITH RHA REPRESENTATIVE

2 Proposed Plan
SCALE: 1/4" = 1'-0"

- CONSTRUCTION KEYNOTES SECOND FLOOR**
- 17 - PROVIDE NEW ALUMINUM TRIPLE TRACK STORM WINDOWS WITH SCREENS. APPROX SIZE ±2'-6" x ±4'-6" (V.I.F.)
 - 18 - PROVIDE NEW DEC-TEC MEMBRANE FLOORING **o/EXISTING FLOORING**
 - 19 - REPLACE LIGHT FIXTURE W/ HAMPTON BAY WALL MOUNT SCNCE
 - 20 - VERIFY IN FIELD EXISTING WINDOW MODIFY NEW WINDOW PLACEMENT AS REQUIRED TO AVOID CONFLICT WITH EXIST. WINDOW. (V.I.F.)
 - 21 - PROVIDE NEW SIDING TO MATCH EXIST. (V.I.F) **PATCH WHERE NECESSARY**
 - 22 - VINYL BEAD BOARD CEILING & WAINSCOTING
 - 23 - CONTRACTOR TO SECURE DOOR ACCESS TO PORCH FROM THE EXTERIOR WHILE UNDER CONST. **TRIM PIECE @ DOOR @ INTERIOR TO BE REPAIRED OR REPLACED.**

- GENERAL SITE NOTES**
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 - 2- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PRESERVE THE INTEGRITY OF EXISTING UTILITIES TO REMAIN AND SHALL PROVIDE UNINTERRUPTED SERVICE TO ALL USERS OF THE EXISTING UTILITIES.
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 - CONTRACTOR IS TO OBTAIN BUILDING PERMITS, PAY FEES, COORDINATE THE SCHEDULE OF INSPECTIONS AS REQUIRED BY THE CITY OF ROCHESTER
 - LUMBER DESIGN BASED ON MINIMUM DESIGN PROPERTIES FOR NO. 2 GRADE LUMBER OF DOUGLAS FIR
 - WOOD IN CONTACT WITH MASONRY, CONCRETE OR EARTH, OR WITHIN 1'-0" OF GRADE OR EXPOSED TO THE EXTERIOR SHALL BE PRESURE PRESERVATIVE TREATED.
 - FRAMING ANCHORS, JOIST HANGERS, AND MISCELLANEOUS METAL, CONNECTING DEVICES FOR WOOD FRAMING SHALL BE GALVANIZED STEEL OF AT LEAST 1/8" GAUGE THICKNESS. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. USE NAILS SUPPLIED BY OR RECOMMENDED BY THE MANUF.
 - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL INFORMATION ON THE DRAWINGS.
 - CONSTRUCTION METHODS AND CRAFTSMANSHIP ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 - FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS
 - COORDINATE DEMOLITION WITH PROPOSED WORK
 - PROVIDE TEMPORARY SHORING PRIOR TO REMOVING COLUMNS/STRUCTURAL MEMBERS
 - CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS IN SUCH A MANNER TO PROTECT AREAS OF BUILDING TO REMAIN.
 - ALL ITEMS SHOWN TO BE REMOVED ARE TO BE DISPOSED OF LEGALLY UNLESS OTHERWISE NOTED
 - PARGE EXISTING FOUNDATION WALLS FOR WATERPROOFING
 - REMOVE ALL UNDER DECK DEBRIS

- LEGEND**
- --- --- --- --- MATERIALS TO BE REMOVED



3 Foundation Plan
SCALE: 1/4" = 1'-0"

Issued:	Date:
A Issued for Bid/Permit	09/16/22
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Revisions:	Date:
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Seal of Michael Palmer, Registered Architect, State of New York, No. 07993.

PROJECT ARCHITECT/ENGINEER DATE

PROJECT LEAD DATE

PROJECT DESIGNER DATE

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Rochester Housing Authority

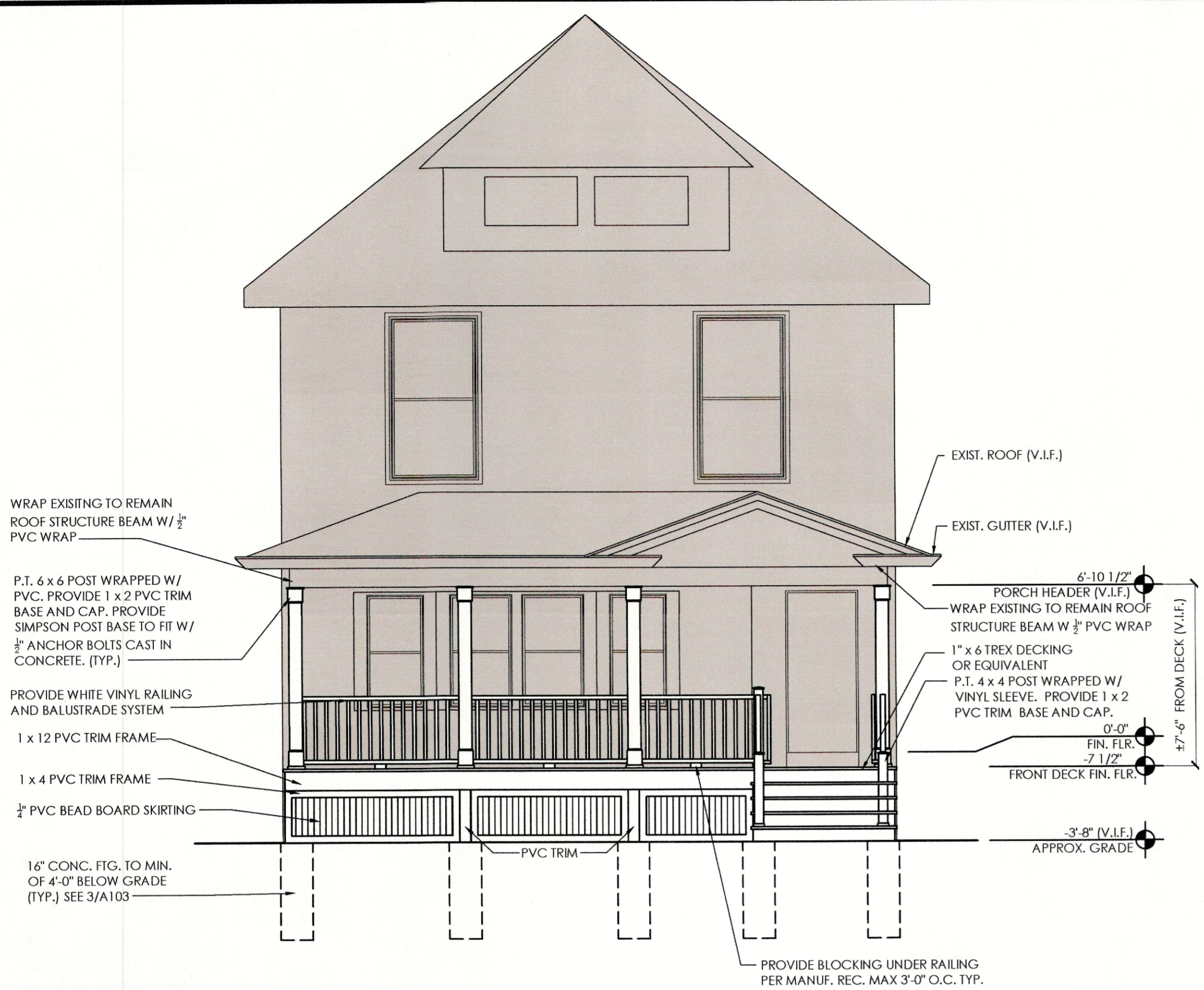
675 West Main St.
Rochester, NY 14611
(585) 497.3600

Porch Replacements 2022
Rugby Ave Property
111 Rugby Ave
Rochester, NY 14619
Monroe County
Project Name & Location:

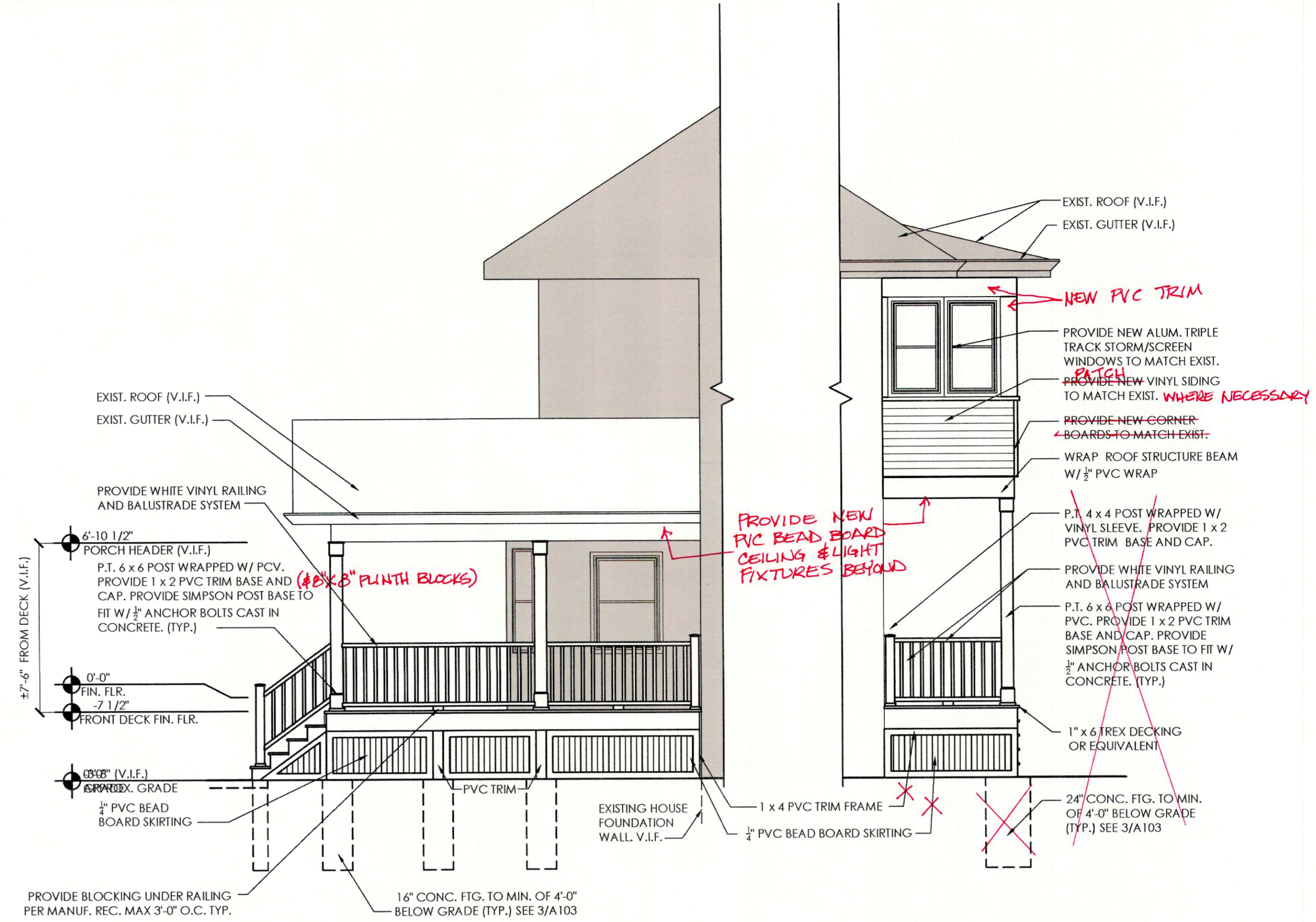
First Floor & Foundation Plans

Drawing Name:

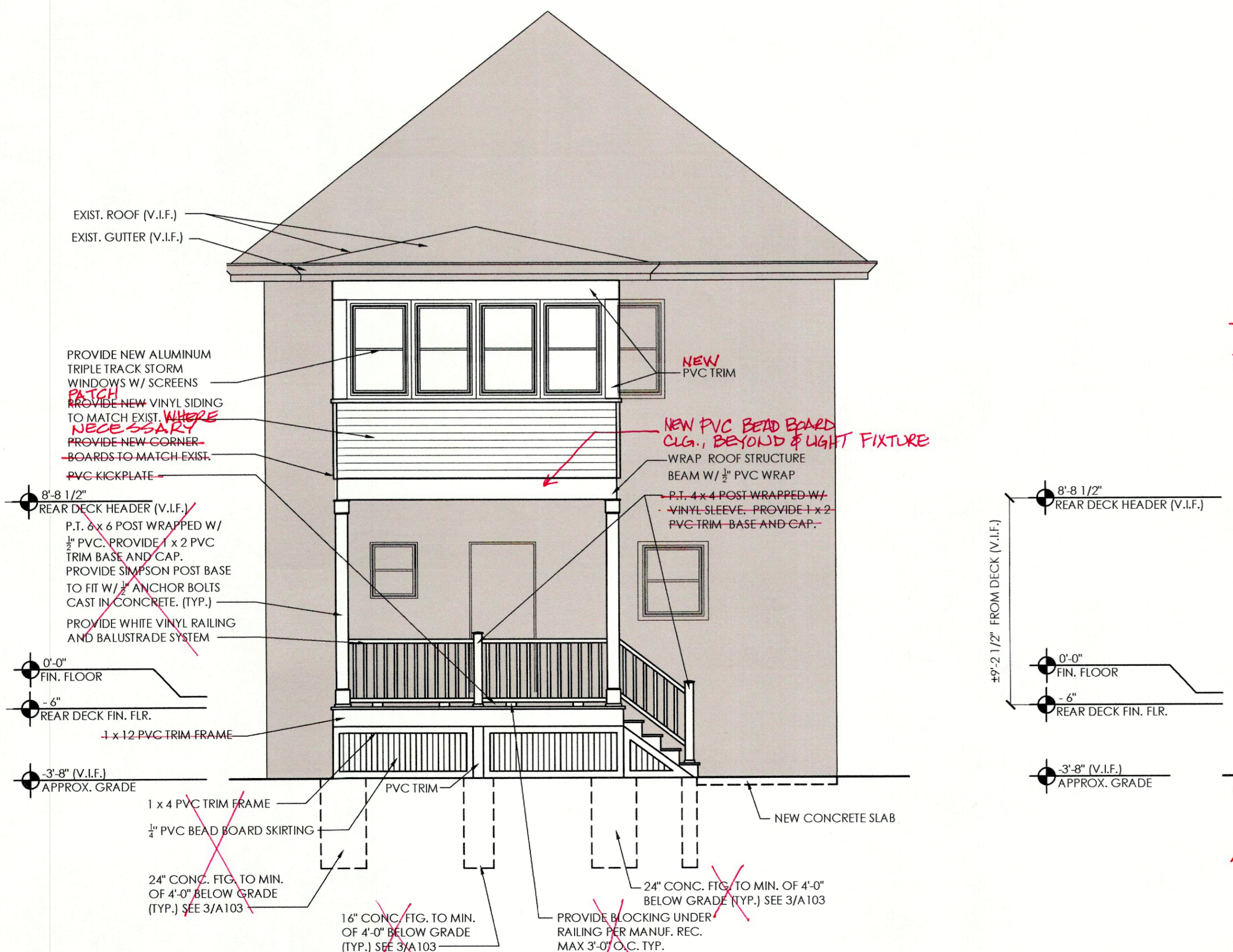
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Type:	Addition	Drawn By:	ASR
Scale:	As Noted	Drawing No.	A-101



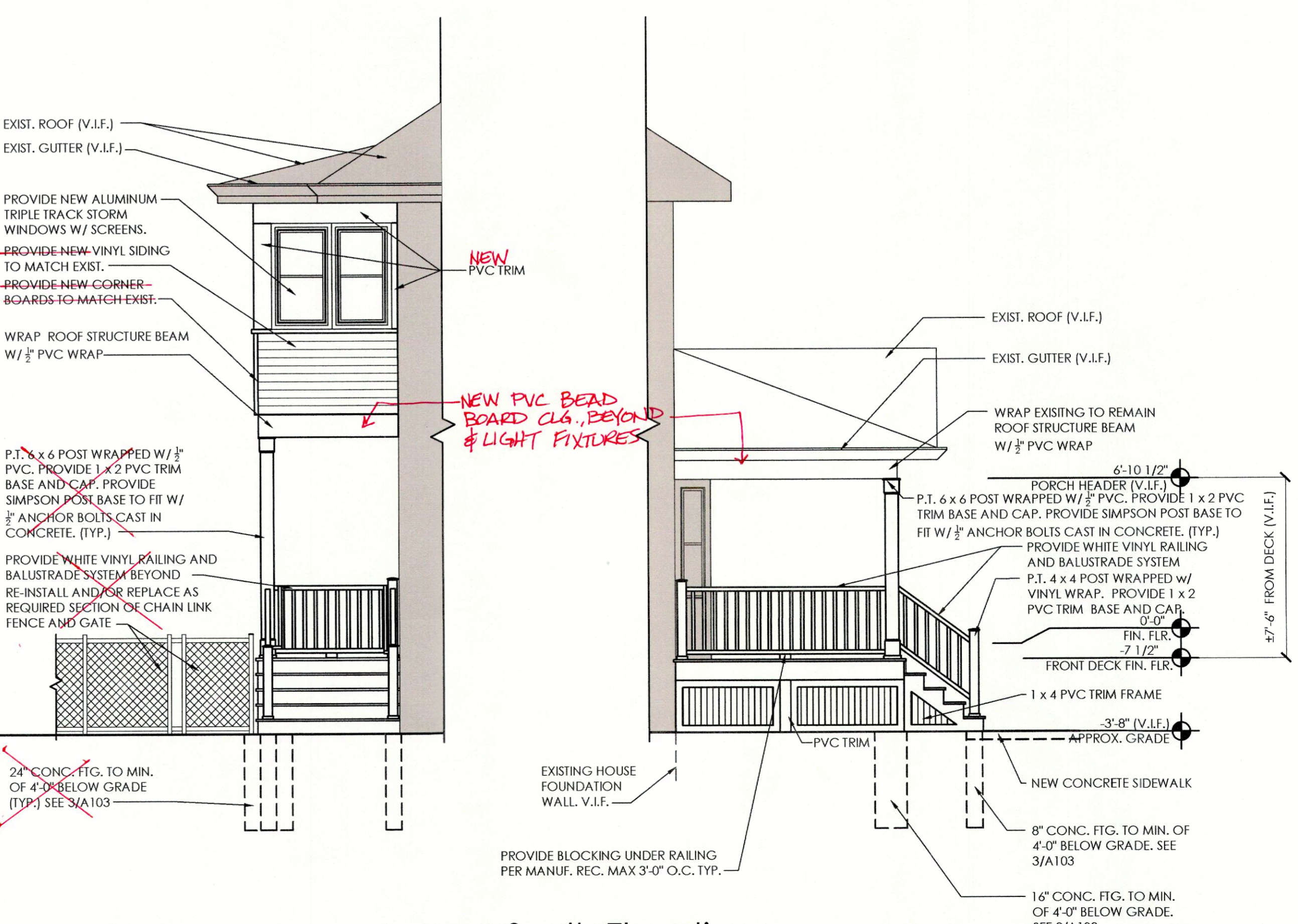
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SCALE: 1/4" = 1'-0"



2 North Elevation
SCALE: 1/4" = 1'-0"



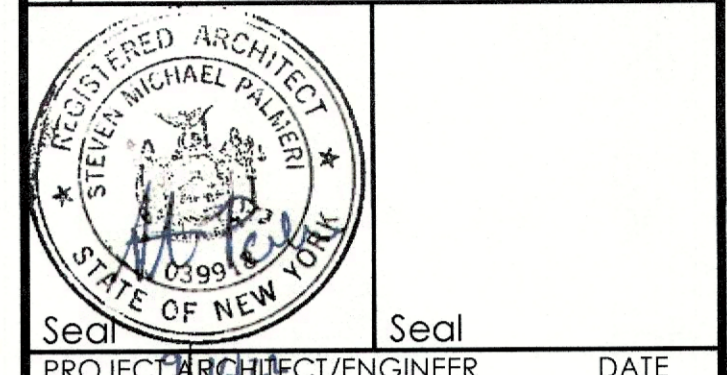
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SCALE: 1/4" = 1'-0"



4 South Elevation
SCALE: 1/4" = 1'-0"

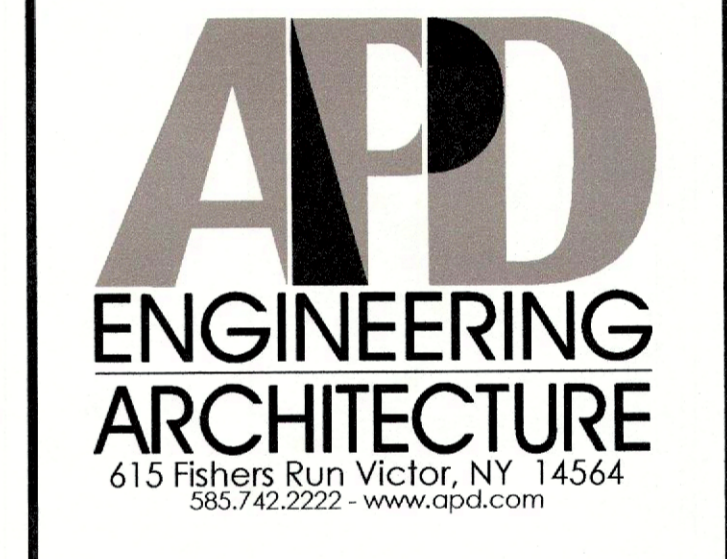
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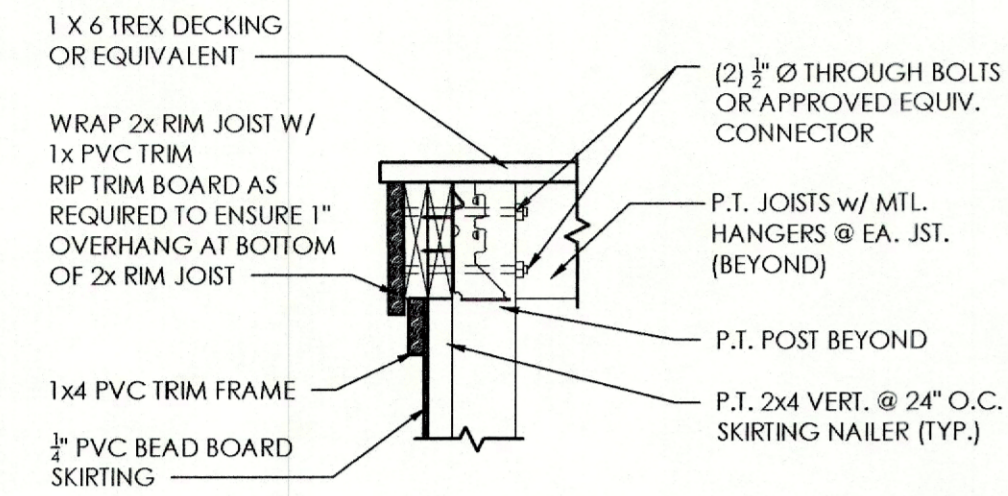
Rochester Housing Authority
675 West Main St.
Rochester, NY 14611
(585) 697 3600

Porch Replacements 2022
Rugby Ave Property
111 Rugby Ave
Rochester, NY 14619
Monroe County
Project Name & Location:

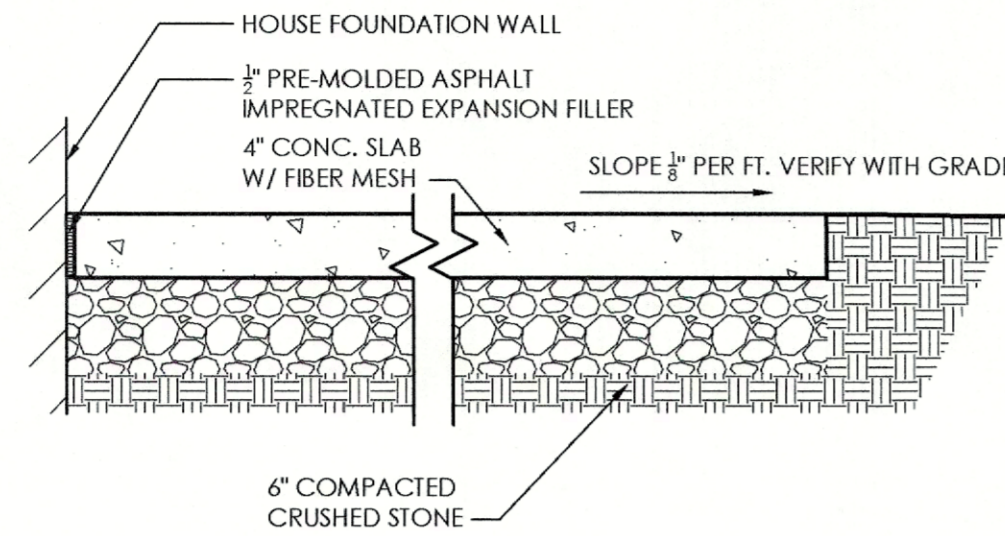
Exterior Elevations

Drawing Name:	Project No.
Date: 04/25/22	22-0111
Type: Addition	
Drawn By: ASR	A-102
Scale: As Noted	Drawing No.

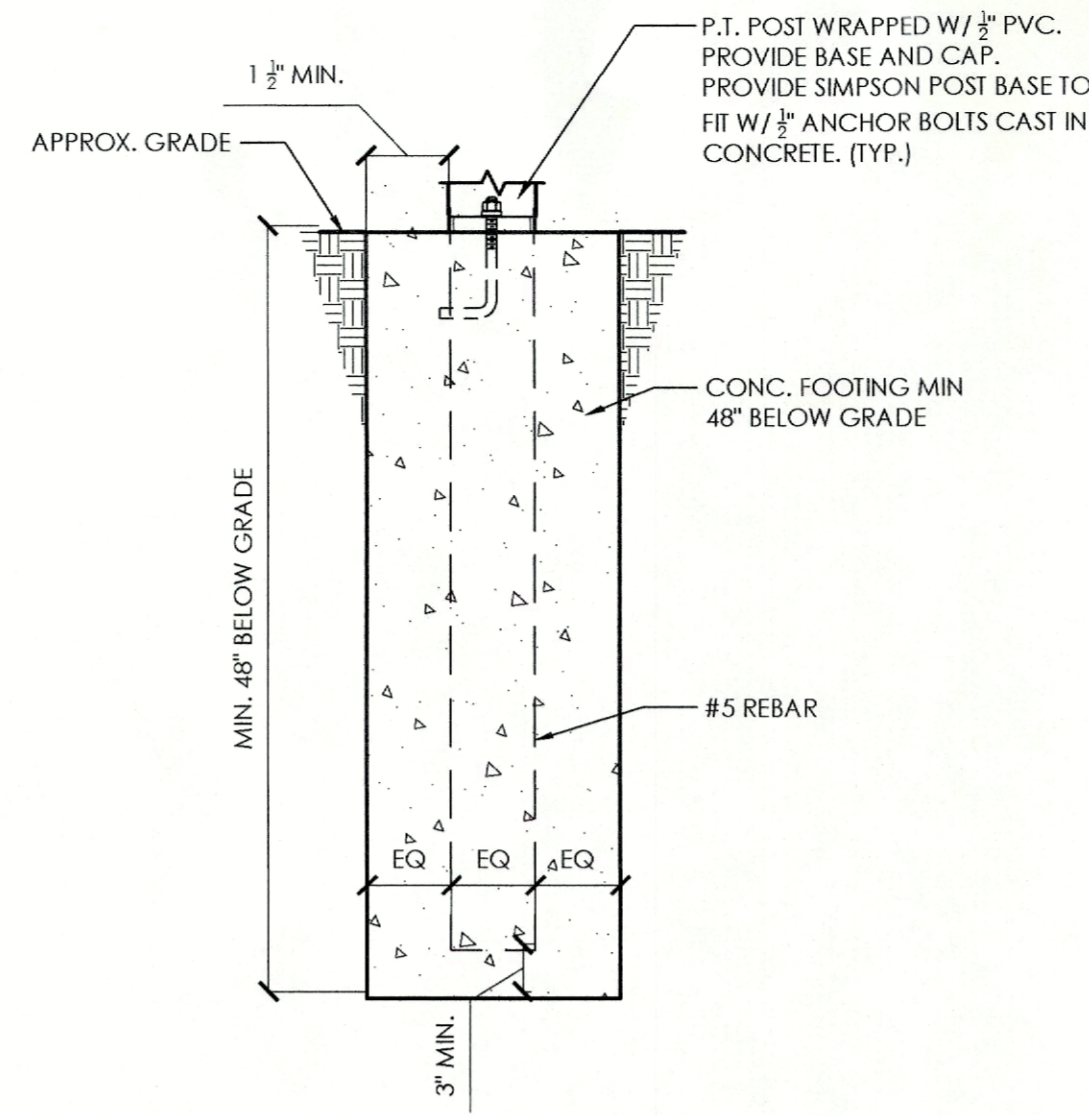
PLOTTED: 9/16/2022 2:13 PM



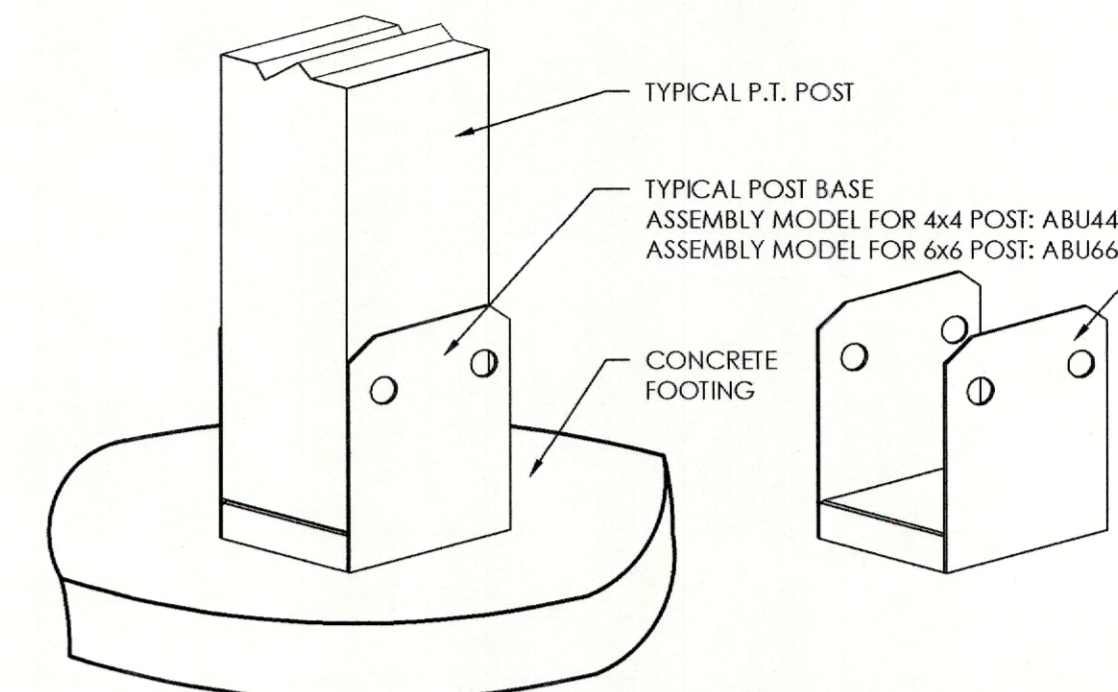
1 Deck Edge Detail (TYP.)
SCALE: 1" = 1'-0"



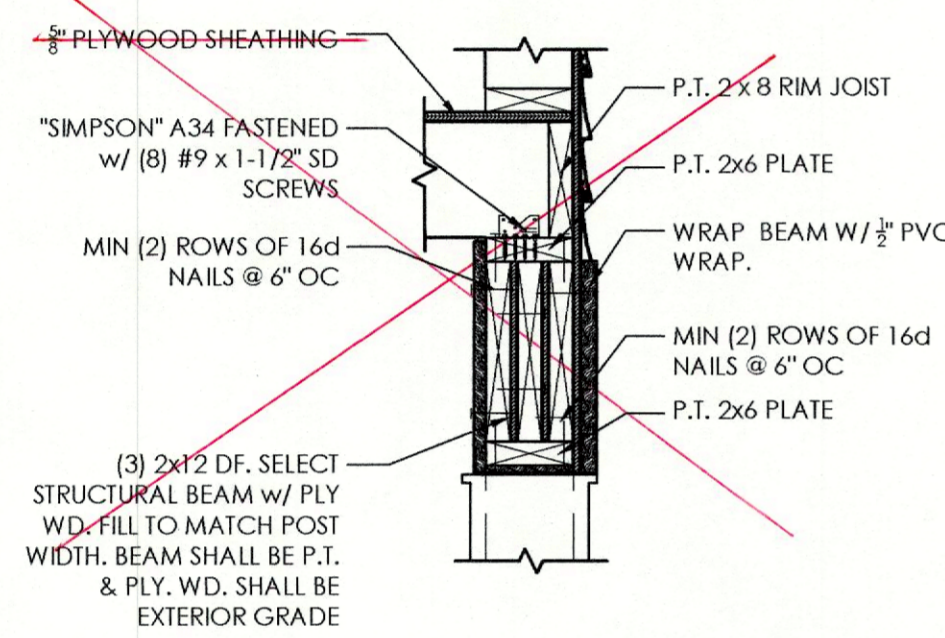
2 Conc. Slab Detail (TYP.)
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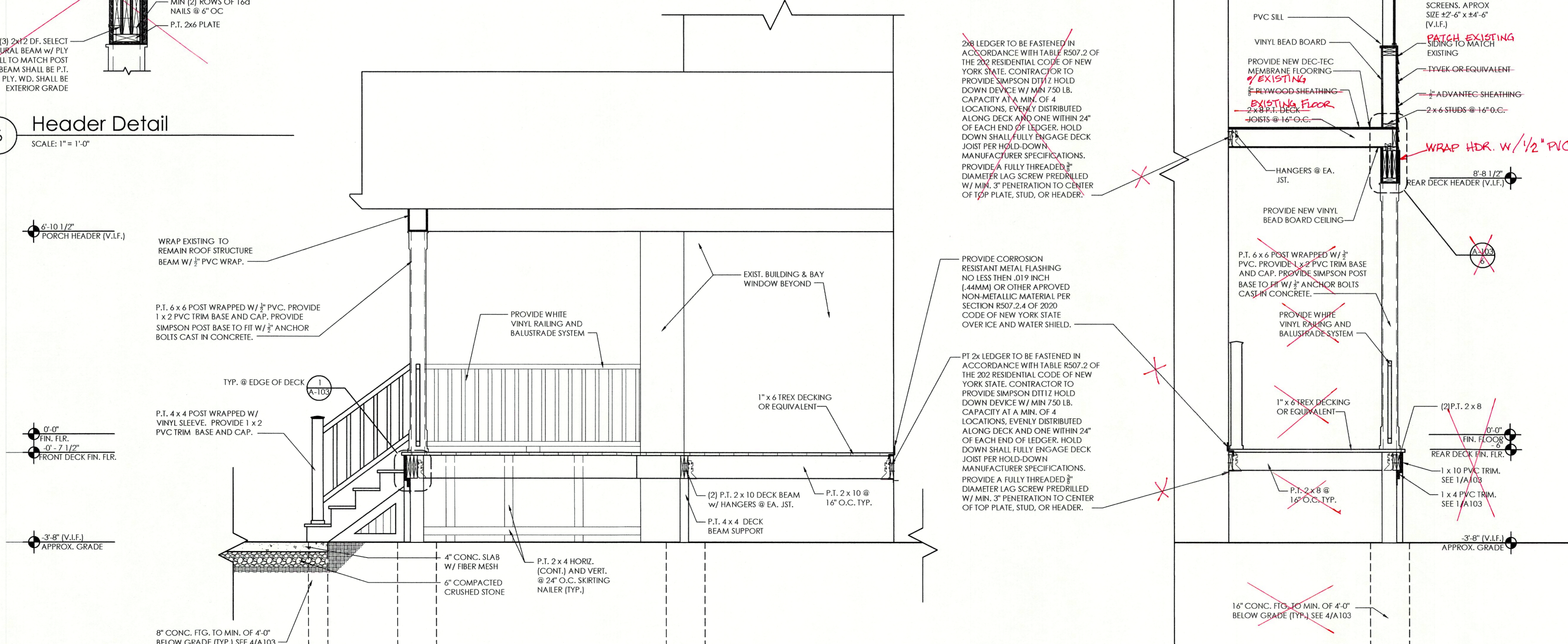
3 Section @ Post Footing
SCALE: 1" = 1'-0"



4 Post Connector Detail
SCALE: N.T.S.



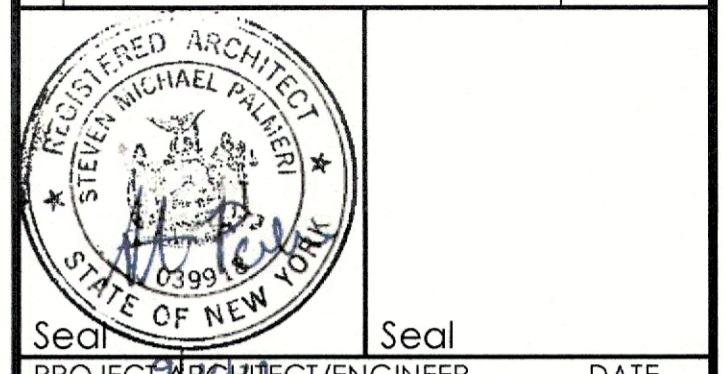
6 Header Detail
SCALE: 1" = 1'-0"



5 Building Section
SCALE: 1/2" = 1'-0"

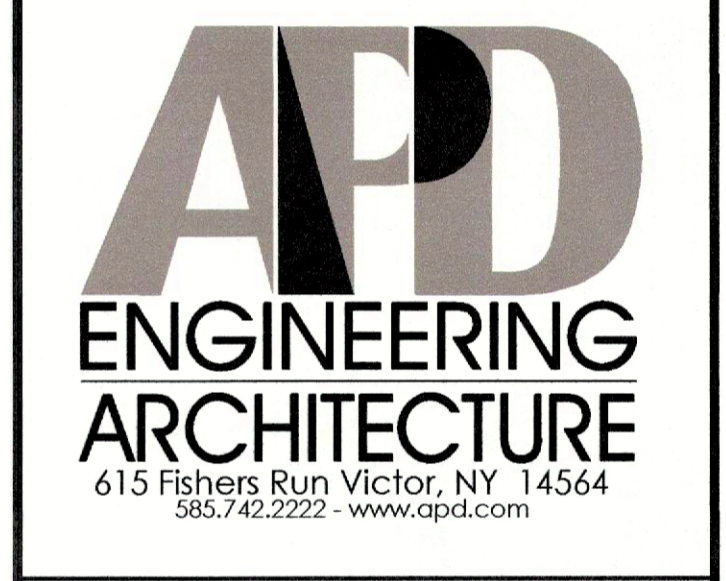
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PROJECT DESIGNER	DATE

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Rugby Ave Property
111 Rugby Ave
Rochester, NY 14619
Monroe County
Project Name & Location:

Building Sections & Details	Project No.
Drawing Name:	22-0111
Date: 04/25/22	
Type: Addition	
Drawn By: ASR	A-103
Scale: As Noted	Drawing No.